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SPA DRAWING LIST	
RZ 00	COVER SHEET
RZ 01	STATISTICS
RZ 02	STATISTICS
RZ 03	TGS CHECKLISTS
RZ 04	TGS CHECKLISTS
RZ 05	TGS CHECKLISTS
RZ 06	CONTEXT PLAN
RZ 07	EXISTING PLANS
RZ 08	UNDERGROUND LEVEL 2
RZ 09	UNDERGROUND LEVEL 1
RZ 10	SITE PLAN
RZ 11	FLOOR 1 PLAN
RZ 12	FLOOR 2 PLAN
RZ 13	FLOOR 3 PLAN
RZ 14	FLOOR 4 PLAN
RZ 15	ROOF PLAN
RZ 16	EXISTING ELEVATIONS
RZ 17	PRESENTATION ELEVATIONS
RZ 18	PRESENTATION ELEVATIONS
RZ 19	PROPOSED ELEVATIONS
RZ 20	PROPOSED ELEVATIONS
RZ 21	NORTH PRESENTATION ELEVATION
RZ 22	EAST PRESENTATION ELEVATION
RZ 23	NORTH DETAIL ELEVATION
RZ 24	EAST DETAIL ELEVATION
RZ 25	BIRD FRIENDLY ELEVATION
RZ 26	BUILDING SECTION 1
RZ 27	BUILDING SECTION 2
RZ 28	BUILDING SECTION 3
RZ 29	COURTYARD SECTION 1 LOOKING NORTH
RZ 30	COURTYARD SECTION 2 LOOKING SOUTH

No. 260 HIGH PARK

CHURCH LOFTS AND RESIDENCES

TORONTO, ONTARIO
FEBRUARY 08, 2016

2	2016-02-08	ISSUED FOR REZONING AND SPA	RM
1	2015-10-16	SUBMITTED FOR PPR	RM
No.	Date:	Issued/Revision:	By:



TURNER FLEISCHER


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Client :
TRAC DEVELOPMENTS INC.

Project :
No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
COVER SHEET

Proj no. :	15-281	Date :	2015-10-16
Drawn by :	AA	Scale :	
Checked by :	RM		



RZ 00

15.281 - 260 HIGH PARK

TORONTO, ONTARIO
STATISTICS

REVISED 2-Feb-16

SITE AREA	4,873	m ²
TOTAL GFA	9,850	m ²
F.S.I.	2.02 x SITE AREA	

GFA & FSI SUMMARY - AS PER CITY OF TORONTO ZONING BY-LAW 569-2013

USE	TFA		GFA		UNITS	F.S.I.
	m ²	ft ²	m ²	ft ²	#	#
RESIDENTIAL	9,701	104,423	9,701	104,423	77	1.99
AMENITY (IN EXCESS OF MIN. REQ.)	303	3,262	149	1,604		0.03
TOTAL	10,004	107,685	9,850	106,027	77	2.02

City of Toronto Zoning By-Law NO. 569-2013 Gross Floor Area (GFA) - Apartment Building:

Means the sum of the total area of each floor level of a building, above and below the ground, measured from the exterior of the main wall of each floor level.In the Residential Zone category, the gross floor area of an apartment building is reduced by the area in the building used for:

- (A) parking, loading and bicycle parking below established grade;
- (B) required loading spaces and required bicycle parking spaces at or above established grade;
- (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement;
- (D) shower and change facilities required by this By-law for required bicycle parking spaces
- (E) amenity space required by this By-law;
- (F) elevator shafts;
- (G) garbage shafts;
- (H) mechanical penthouse; and
- (I) exit stairwells in the building.

GROSS FLOOR AREA (GFA) CALCULATIONS
4 STOREY RESIDENTIAL BUILDING

						GROSS FLOOR AREA BREAKDOWN													
	FLOOR	TOTAL FLOOR AREA (NO EXCLUSIONS)		GROSS FLOOR AREA (W/ EXCLUSIONS)		RESIDENTIAL				RESIDENTIAL		INDOOR AMENITY		UNITS	OUTDOOR AMENITY		GREEN ROOF		
						SALEABLE		NON-SALEABLE				(EXCLUDED FROM GFA)							
4 STOREY RESIDENTIAL BUILDING		m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	#	m²	ft²	m²	ft²	
	U/G 2	1,807.7	19,458	45.2	487			45	487	45	487								
	U/G 1	3,547.7	38,188	481.7	5,185	406	4,374	76	814	482	5,185								
	1	2,612.7	28,123	2,273.1	24,468	1,949	20,976	324	3,492	2,273	24,468	303	3,262	21	212	2,277			
	2	2,502.4	26,936	2,465.9	26,543	2,262	24,348	204	2,195	2,466	26,543			24					
	3	2,331.6	25,097	2,295.1	24,704	2,095	22,548	200	2,156	2,295	24,704			20					
	4	1,886.6	20,308	1,817.4	19,563	1,647	17,733	170	1,829	1,817	19,563			12					
	MECH. PH	524.7	5,647	322.7	3,473	228	2,456	95	1,018	323	3,473				175	1,882			
	ROOF																243	2,614	
	TOTAL	15,213	163,757	9,701	104,423	8,587	92,435	1,114	11,990	9,701	104,423	303	3,262	77	386	4,159	243	2,614	

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Client :
TRAC DEVELOPMENTS INC.

Project :
No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
STATISTICS

Proj no. :	15,281	Date :	2015-10-16
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Checked by :	RM		

Drawing No :
RZ 01

UNIT BREAKDOWN

FLOOR	UNIT TYPE						SUB-TOTAL	BARRIER FREE UNITS
	1B	1B+D	2B	2B+D	3B	3B+D		
1		14		7			21	TBD
2		14		9		1	24	TBD
3		7		9		4	20	TBD
4		6		1		5	12	TBD
TOTAL	0	41	0	26	0	10	77	0
	41		26		10			
UNIT MIX	53.2%		33.8%		13.0%			0.0%

AMENITY AREAS - REQUIRED & PROVIDED

* AMENITY REQUIREMENTS AS PER CITY OF CITY OF TORONTO ZONING BY-LAW 569-2013

4 STOREY RESIDENTIAL BUILDING	TYPE	REQUIRED			PROVIDED	
		RATIO	m2	ft2	m2	ft2
	INDOOR AMENITY	2.0 m2 / UNIT	154	1,658	303	3,262
	OUTDOOR AMENITY	TOTAL AMENITY REQUIRED MINUS THE INDOOR AMENITY PROVIDED (NO LESS THAN 40m2)			386	4,159
	TOTAL AMENITY REQ. (IN AND OUTDOOR)	4.0 m2 / UNIT	308	3,315	689	7,421

LOCKERS PROVIDED

FLOOR	LOCKERS PROVIDED
U/G PARKING LEVEL 1	77
U/G PARKING LEVEL 2	0
TOTAL	77

VEHICULAR PARKING - REQUIRED & PROVIDED

* BICYCLE PARKING RATIOS AS PER CITY OF CITY OF TORONTO ZONING BY-LAW 569-2013

VEHICULAR PARKING REQUIRED	USE	RATIO	UNITS / GFA (m ²)	SPACES
		MINIMUM		MINIMUM
	VISITOR	0.2 / UNIT	77	15
	1B & 1B+D UNITS	0.9 / UNIT	41	36
	2B & 2B+D UNITS	1.0 / UNIT	26	26
	3B & 3B+D UNITS	1.2 / UNIT	10	12
	TOTAL			89

VEHICULAR PARKING PROVIDED	LEVEL	USE		TOTAL
		RESIDENT	VISITOR	
	SURFACE	0	0	0
	PARKING LEVEL 1	37	15	52
	PARKING LEVEL 2	38	0	38
	SUBTOTAL	75	15	90
	TANDEM	17	0	
	GRAND TOTAL	92	15	107

BICYCLE PARKING - REQUIRED & PROVIDED

* BICYCLE PARKING RATIOS AS PER CITY OF CITY OF TORONTO ZONING BY-LAW 569-2013

BICYCLE PARKING REQUIRED	USE	LONG TERM		SHORT TERM		SPACES
		RATIO	SPACES	RATIO	SPACES	
	RESIDENTIAL	0.9 / UNIT	70	0.1 / UNIT	8	78
	TOTAL	70		8		78

BICYCLE PARKING PROVIDED	LEVEL	SURFACE		PARKING LEVEL 1		TOTAL
		HORIZONTAL	VERTICAL	HORIZONTAL	VERTICAL	
	RES - SHORT TERM		8			8
	RES - LONG TERM			35	35	70
	TOTAL	0	8	35	35	78

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Proj no. :	15.281	Date :	2015-10-16
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RZ 02

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development

Complete in conjunction with the full Toronto Green Standard and Specifications.

The Toronto Green Standard (TGS) is a two-tier set of performance measures, with supporting guidelines for new development. Its purpose is to promote sustainable site and building designs that address Toronto's urban environmental pressures: air quality, climate change and energy efficiency, water quality and efficiency, ecology and solid waste.

This Checklist is part of a Complete Application. It must contain adequate detail on how the design meets the Toronto Green Standard. The Checklist must also reference the appropriate plans, drawings and reports that demonstrate compliance with the performance measures. Complete the Checklist in conjunction with the appropriate Standard that applies to the development type, including the Specifications, Definitions and Resources column that provides more information on how to comply. The Checklist is completed by the project architect or planning consultant and is submitted to City Planning staff as part of your development application.

Application Submitted

☒ Site Plan Control ☒ Zoning Bylaw Amendment ☐ Draft Plan of Subdivision

Office Use Only

District Offices: ☐ North York District ☐ Toronto East York District ☐ Scarborough District ☐ Etobicoke York District

Date Received: _____ Planner: _____ Application No.: _____

Is this checklist revised from an earlier submission? ☒ Yes ☐ No

Property and Applicant

Address of Subject Land (Street Number/Name): 248 AND 260 HIGH PARK AVENUE

Applicant/Agent

Name: MCG Consultants Inc. Telephone: 416-209-1937 E-mail: chris@mcgconsultants. Registered Owner: Trac Developments Inc.

Proposal Description

Gross Floor Area: 9,907 sq.m. Number of Storeys: 4 Number of Units: 77

Project Information (include a narrative of your project highlighting green attributes or performance measures)

Four storey residential development consisting of an existing church and a new addition. Some green attributes or performance measures include: adaptive re-use of an existing building, green roof, implementation of bird-friendly guidelines and easy access to public transportation along High Park Avenue and Annette Street.

- Tier 1 performance measures are required by the City and must be addressed as part of your approved development application.
- Tier 2 performance measures are voluntary with higher performance levels. Achieving Tier 2 means that you are eligible to apply for a refund of development charges equivalent to 20% of the 2014 rate.

☐ Check here if you intend to achieve Tier 2 of the Toronto Green Standard (complete pages 9-12).



TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development

Complete in conjunction with the full Toronto Green Standard and Specifications.

TIER 1: AIR QUALITY

Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
AQ 1.1	Low-Emitting Vehicle Spaces EXAMPLE	Physical provision for future electric vehicle charging (residential) or dedicated priority parking spaces (non-residential) for parking above minimum requirement	A minimum of 100 automobile parking spaces are required under the Zoning Bylaw. 115 automobile parking spaces are provided for this development. Dedicated carpool parking is provided for 15 spaces.	Site Plan # A1-01 Underground Garage Plan# Other #
AQ 1.1	Low-Emitting Vehicle Spaces	Physical provision for future electric vehicle charging (residential) or dedicated priority parking spaces (non-residential) for parking above minimum requirement	Minimum 89 parking spaces are required as per zoning by-law, with 90 spaces provided, as well as 17 tandem spaces. Electrical provision will be made for future 1 residential parking spaces via a central junction box.	Site Plan # RZ10 Underground Garage Plan # RZ 08-09 Other #
AQ 2.1	Bicycle Parking Rates	Minimum bicycle parking rates	0.9 bicycle parking/unit required = 78. 78 bicycle parking spaces provided.	Site Plan # RZ10 Underground Garage Plan # RZ09 Other #
AQ 2.2	Long-term bicycle parking location	Long-term parking in secure bicycle parking facility or purpose-built bicycle locker	The long term spaces for the occupants are located on the P1 basement level, in one central secured room.	Site Plan # Underground Garage Plan # RZ09 Other #
AQ 2.3	Short-term bicycle parking location	Short-term bicycle parking in a highly visible and publicly accessible location	Visitor bicycle parking spaces are located at grade in front of principle pedestrian entrance. Access to a pedestrian entrance within 30m is provided.	Site Plan # RZ10 Underground Garage Plan # RZ09 Other #
AQ 2.4	Shower & change facilities	Shower and change facilities (non-residential only)	Not applicable.	Site Plan # Other #

2



TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development

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Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
AQ 3.1	Connectivity	Safe, accessible pedestrian routes that connect with off-site pedestrian networks and priority destinations	Direct pedestrian routes connect to public sidewalks and bike lanes.	Floor Plan # RZ 10 Other # L-01
AQ 3.2	Sidewalk space	Pedestrian clearway at least 2.1 m wide to accommodate pedestrian flow	All exits leading to sidewalk have a minimum width of at least 2.1m	Site Plan # RZ 10 Landscape Plan # L-01 Other #
AQ 3.3	Weather protection	Covered outdoor waiting areas	Overhangs and canopies are provided at outdoor waiting areas.	Site Plan # RZ 10 Other # L-01
AQ 3.4	Pedestrian specific lighting	Pedestrian scale lighting	Pedestrian scale landscape lighting will be provided.	Site Plan # Building Cross-section# Other # L-01
AQ 4.1	Urban Heat Island Reduction: At Grade	One of the following is provided: <input checked="" type="checkbox"/> High-albedo surface materials OR <input type="checkbox"/> Open grid pavement OR <input type="checkbox"/> Shade within 5 years of construction OR <input type="checkbox"/> Shade from structures covered by solar panels OR <input type="checkbox"/> Combination of above options Place 50% required parking spaces under cover (non-residential option only)	All proposed paving are to be concrete.	Landscape Plan # L-01 Other #

3



TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development

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Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
AQ 5.1	Green & cool roofs	Choose the applicable category: <input type="checkbox"/> Green roof By-law applies OR <input checked="" type="checkbox"/> Green roof by-law does not apply OR <input type="checkbox"/> City-owned buildings and all Agencies, Boards, Commissions and Corporations (ABCCs)	Not applicable.	Site Plan # Roof Plan # Other #

TIER 1: GREENHOUSE GAS EMISSIONS/ENERGY EFFICIENCY

Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
GHG 1.1	Energy efficiency	Design building(s) to achieve at least 15% energy efficiency improvement over the current Ontario Building Code	To be completed.	<input type="checkbox"/> Design Development Stage Energy Report OR <input type="checkbox"/> Small Buildings Checklist
GHG 1.2	On-site renewable energy	City-owned buildings and all ABCCs: Install renewable energy devices		<input type="checkbox"/> Feasibility study

4

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development

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TIER 1: WATER QUALITY, QUANTITY AND EFFICIENCY

Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
WQ 1.1	Erosion & sediment control	Adherence to <i>Erosion and Sediment Control Guidelines for Urban Construction</i>	An Erosion and Sediment Control drawings will be provided with the SPA submission.	Site Grading Plan # Other #
WQ 2.1	Stormwater balance	Stormwater retained on-site to the same level of annual volume allowable under pre-development conditions	Not Achieved.	<input type="checkbox"/> Stormwater Management Report Site Grading Plan # Other #
WQ 2.2	Stormwater retention & reuse	One of the following is provided: <input type="checkbox"/> The first 5mm from each rainfall retained on-site OR <input checked="" type="checkbox"/> Maximum allowable annual runoff volume is no more than 50% of the total average annual rainfall depth	Water Balance will be achieved through collection of roof water for re-use and infiltration via initial abstraction.	<input type="checkbox"/> Stormwater Management Report Site Grading Plan # Other #
WQ 3.1	Total suspended solids (TSS)	Remove 80% of total suspended solids based on the post-development level of imperviousness	This will be achieved through the nature of the site (mostly roof top) and an approved OGS unit for the surface run-off.	<input type="checkbox"/> Stormwater Management Report Site Grading Plan # Other # sp plan
WQ 3.2	E. Coli reduction	Control the amount of E. Coli directly entering Lake Ontario and waterfront areas	N/A	<input type="checkbox"/> Stormwater Management Report Site Grading Plan # Other #
WQ 4.1	Drought-tolerant landscapes	Water efficient plant material provided for at least 50% of landscaped site area	67% of proposed landscape site area are Drought-tolerant.	Landscape Plan # L-01 Other # TGS Stats template

5



TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development

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TIER 1: ECOLOGY

Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
EC 1.1	Tree protection	Adherence to the Tree Protection Policy and Specifications for Construction Near Trees	An arborist report and a Existing Tree Survey plan have been provided denoting all Tree Protection Policy and Specifications for Construction near Trees.	<input checked="" type="checkbox"/> Arborist Report Site Plan # Landscape Plan # Tree Preservation Plan # TS-1 Other #
EC 1.2	Preservation of mature trees	Protect and retain all trees that are 30 cm or more DBH from injury or removal	Refer to Existing Tree Inventory & Preservation Plan for tree protection measures.	<input checked="" type="checkbox"/> Arborist Report Site Plan # Landscape Plan # Tree Preservation Plan # TS-1 Other #
EC 1.3	Ravine protection	Within the Ravine Protected Area, protect and retain trees of all diameters	Not Applicable.	<input type="checkbox"/> Arborist Report Site Plan # Landscape Plan # Tree Preservation Plan # Other #
EC 1.4	Street tree retention	Protect and retain all trees adjacent to City of Toronto streets and roadways and City-owned Parkland	Refer to Existing Tree Inventory & Preservation Plan for tree protection measures.	<input checked="" type="checkbox"/> Arborist Report Site Plan # Landscape Plan # Tree Preservation Plan # TS-1 Other #
EC 2.1	Tree planting	Tree canopy cover distributed across site area and public boulevard	Refer to L-01 Proposed Ground Floor Plan for all proposed tree planting.	Landscape Plan # L-01 Other #
EC 2.2	Soil volumes	Provide all trees planted with a minimum volume of 30 m³ of high quality soil per tree	All planted caliper trees to have minimum volume of 30 cub. m of high quality soil per tree.	Landscape Plan # Other #

6



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Drawing Name :

TGS CHECKLISTS

Proj no. :	15_281	Date :	2015-10-16
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Checked by :	RM		

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RZ 03

E:\15_281 - 260 High Park_Residential

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
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Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
EC 2.3	Trees along street frontages	Plant large shade trees along all street frontages	Autumn Blaze Maple, Imperial Honeylocust, Eastern White Pine and Gingko Biloba trees have been proposed as shade trees along all street frontages. Refer to L-01 Proposed Ground Floor Landscape Plan.	Landscape Plan # L-01 Other #
EC 2.4	Trees in parking lots	Plant shade trees throughout the parking lot interior	Not applicable.	<input type="checkbox"/> Arborist Report Landscape Plan # Other #
EC 2.5	Watering program	Provide a watering program for trees for at least the first 2 years after planting	Refer to Landscape drawing details sheet L-03 for watering program for trees.	<input type="checkbox"/> Arborist Report Landscape Plan # L-03 Other #
EC 3.1	Biodiversity in landscapes	Plant landscaped site area using a minimum of 50% native species	53% of planting species are native.	<input type="checkbox"/> Arborist Report Landscape Plan # L-01 Other #
EC 3.2	Ravines and natural areas buffers	Where a setback from top-of-bank is required, plant landscaped area of the setback with native species	Not applicable.	Landscape Plan # Other #
EC 3.3	Invasive species	No invasive species on properties along streets abutting ravines and natural areas	No invasive species have been proposed.	Landscape Plan # Other #

7

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

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Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
EC 4.1	Bird friendly glazing	Treat a minimum of 85% of all exterior glazing within the first 12m of the building above grade, using a combination of the following strategies: <input checked="" type="checkbox"/> Low reflectance, opaque materials <input checked="" type="checkbox"/> Visual markers <input checked="" type="checkbox"/> Muted reflections For City-owned and all Agencies, Boards, Commissions and Corporations: Treat all exterior glazing within 16 m of the building above grade as per EC 4.1. Visual markers must have maximum spacing of 50 mm x 50 mm.	85% of the glazed areas (including low reflective glass spandrel) for the first 12 m above grade and 4 m above green roof areas will be treated, including all glazed balcony railings. This will be achieved through a combination of shading from balcony overhangs at a 1:1 ratio, fritting on vision glass and spandrel glass with low reflectance. Fly through conditions (glass corners) will be treated as part of 85% requirement, extending 2.5m to either side of corner.	Landscape Plan # Other # Elevation Plans # RZ25
EC 4.2	Rooftop vegetation	Treat the first 4 m of glazing above the feature	Not Applicable.	Landscape Plan # Other #
EC 4.3	Grate porosity	Ensure ground level grates have a porosity of less than 20 mm x 20 mm (or 40 mm x 10 mm)	A grate porosity of less than 20cm x 20cm indicated on site plan.	Landscape Plan # Other # RZ10
EC 5.1	Exterior lighting	Shield all exterior light fixtures	All exterior fixtures will be specified as IESNA Full Cutoff classification.	Site Plan# Landscape Plan # Building Elevation # Other#

8

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

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TIER 1: SOLID WASTE

Section	Development Feature	Tier 1 Required Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
SW 1.1	Waste collection & sorting	Residential: Provide a waste sorting system	A tri-sorter system to be used to separate organic, recyclable and landfill materials, accessible on each floor.	Floor Plan # RZ06 Other #
SW 1.2	Waste storage spaces	Residential: Provide easily accessible waste storage room	Garbage room is accessible from P1. Required area is 32 m2, excluding bulky item storage. 74 m2 of area is provided, excluding bulky item storage.	Site Plan # RZ10 Underground Garage Plan #09 Floor Plan # RZ11-15 Other # A15a
SW 1.3	Bulky waste	Residential: Provide a minimum of 10 m² for bulky items and additional diversion programs	10 m2 space has been provided for bulky items in the underground P1 level	Site Plan # Underground Garage Plan # 09 Floor Plan # Other #

9

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
Complete in conjunction with the full Toronto Green Standard and Specifications.



Tier 2 is the voluntary, enhanced performance level. Site plan applications received on or after May 1, 2009 that meet both Tier 1 and 2 of the Toronto Green Standard are eligible to apply for a potential refund of development charges equivalent to 20% of the 2014 rate. Completion of Tier 2 involves meeting all of the performance measures identified below as **CORE** and selecting three performance measures identified as **OPTIONAL**. Indicate where Tier 2 performance measures will be documented in the right hand columns of the checklist.

Tier 2 is verified during the construction stage by third party evaluators registered with the City. The detailed eligibility criteria, application and verification procedures are found at toronto.ca/greendevlopment

TIER 2: CORE

Section	Development Feature	Tier 2 Voluntary Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
AQ 4.2	Enhanced UHI, Non-roof hardscape	Treat 75% of the site's non-roof hardscape		Landscape Plan # Other # <input type="checkbox"/> Declaration template
GHG 1.3	Enhanced energy efficiency	Design and construct the building(s) to achieve at least 25% energy efficiency improvement over the current Ontario Building Code		<input type="checkbox"/> As Constructed Energy Model Report OR <input type="checkbox"/> Small Buildings Checklist
GHG 2.1	Building Commissioning	Commission the project using best practice commissioning		<input type="checkbox"/> Declaration template
WQ 4.2	Water Efficient Fixtures	Reduce potable water consumption by at least 30% using efficient water fixtures and appliances		<input type="checkbox"/> Declaration template

10

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
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Section	Development Feature	Tier 2 Voluntary Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
WQ 4.3	Irrigation	Reduce potable water use for irrigation by 50%	67% of landscape site are draught-tolerant species thus reducing potable water use for irrigation.	Landscape Plan # Roof Plan # Other # <input type="checkbox"/> Declaration template
EC 5.2	Enhanced Lighting	Direct rooftop architectural illumination downward and turn off between the hours of 11 p.m. and 6 a.m. during migratory bird seasons		Roof Plan # Lighting Plan # Other #
EC 5.3	Lighting Controls	Install an automatic device that reduces the outward spillage of internal light by one of the following: <input type="checkbox"/> Reducing the input power to lighting fixtures <input type="checkbox"/> Shielding all openings in the building envelope		<input type="checkbox"/> Declaration template

11

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
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TIER 2: OPTIONAL (SELECT 3)

Section	Development Feature	Tier 2 Voluntary Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
AQ 1.2	Enhanced LEV spaces	Electrical provision for future electric vehicle charging		<input type="checkbox"/> Declaration template
AQ 2.5	Enhanced Bicycle parking rates	Provide enhanced bicycle parking rates		Site Plan # Underground Garage Plan # Other #
AQ 2.6	Bike share	Provide public bike share location at-grade		Site Plan # Other #
GHG 1.4	On-site renewable energy	Design and install on-site renewable energy systems		<input type="checkbox"/> Declaration template <input type="checkbox"/> As-constructed Energy Model Report
GHG 2.2	Meters	Install thermal energy meters		<input type="checkbox"/> Declaration template
WQ 2.3	Enhanced stormwater retention & reuse	Provide enhanced stormwater retention and reuse		<input type="checkbox"/> Declaration template

12

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2	2016-02-08	ISSUED FOR REZONING AND SPA	RM
1	2015-10-16	SUBMITTED FOR PRR	RM
No.	Date:	Issued/Revision:	By



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67 Lesmill Road Toronto ON Canada M3B 2T8
Telephone (416) 425-2322 Facsimile (416) 425-6717
turnerfleischer.com

Client :
TRAC DEVELOPMENTS INC.

Project :
**No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES**
**260 HIGH PARK AVENUE
TORONTO, ONTARIO**

Drawing Name :
TGS CHECKLISTS

Proj no. :	15_281	Date :	2015-10-16
Drawn by :	AA	Scale :	
Checked by :	RM	Drawing No :	

RZ 04

C:\15_281 - 260 High Park_Residential

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
Complete in conjunction with the full Toronto Green Standard and Specifications.



Section	Development Feature	Tier 2 Voluntary Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
EC 2.6	Enhanced trees in parking lots	Plant internal shade trees in surface parking areas		Site Plan# Landscape Plan # Other #
EC 2.7	Enhanced tree planting	Provide additional tree planting beyond the development site and the associated public boulevard		Site Plan# Landscape Plan # Other #
EC 3.4	Enhanced Landscaping	Restore or protect a minimum 50% of the site area or 20% of the total site area with native or drought-tolerant vegetation.	67% of proposed landscape site plan are Drought-tolerant.	Site Plan# Landscape Plan # L-01 Other #
EC 4.4	Enhanced bird friendly glazing	Use a combination of the following to treat a minimum of 95% of all exterior glazing within the first 12 m of the building: <input type="checkbox"/> Low reflectance, opaque materials <input type="checkbox"/> Visual markers <input type="checkbox"/> Mute reflections		Landscape Plan # Other # Elevation Plans #
EC 4.5	Opaque building materials	Provide at least 50% of the exterior surface of the building as non-reflective opaque materials		Building Elevation# Building Cross-Section #
SW 1.4	Enhanced waste collection & sorting	Provide three separate chutes for collection of each of the three waste streams on all floors (Residential)		Floor Plan # Other #

13

TORONTO GREEN STANDARD VERSION 2.0 – CHECKLIST

For New Mid to High Rise Residential and all New Non-Residential Development
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Section	Development Feature	Tier 2 Voluntary Performance Measure Summary	Description (How is this performance measure being met?)	Reference the Plans, Drawings or Reports
SW 1.5	Enhanced waste storage space	One of the following is provided (Residential): <input type="checkbox"/> separated kitchen cabinet space for collection of three waste streams <input type="checkbox"/> dedicated area(s) within the building for collection and storage of recycling and organics		Floor Plan # Other #
SW 1.6	Household hazardous waste	Provide a dedicated collection area or room		Floor Plan # Other #
SW 2.1	Building reuse	Maintain at least 55% of the existing building structure and envelope		<input type="checkbox"/> Declaration template
SW 3.1	Construction waste	Recycle at least 75% of non-hazardous construction and demolition debris		<input type="checkbox"/> Declaration template
SW 4.1	Recycled content	Ensure that at least 20% construction materials comprise recycled content		<input type="checkbox"/> Declaration template
SW 5.1	Regional materials	Ensure at least 20% of the building materials or products have been extracted, harvested, recovered or processed within 800 km of the final manufacturing site		<input type="checkbox"/> Declaration template

14

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260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
TGS CHECKLISTS

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Drawn by :	AA	Scale :	
Checked by :	RM		

Drawing No :

RZ 05

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260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
CONTEXT PLAN

Proj no. :	15.281	Date :	2015-10-16
Drawn by :	AA	Scale :	1 : 1000
Checked by :	RM	Drawing No. :	

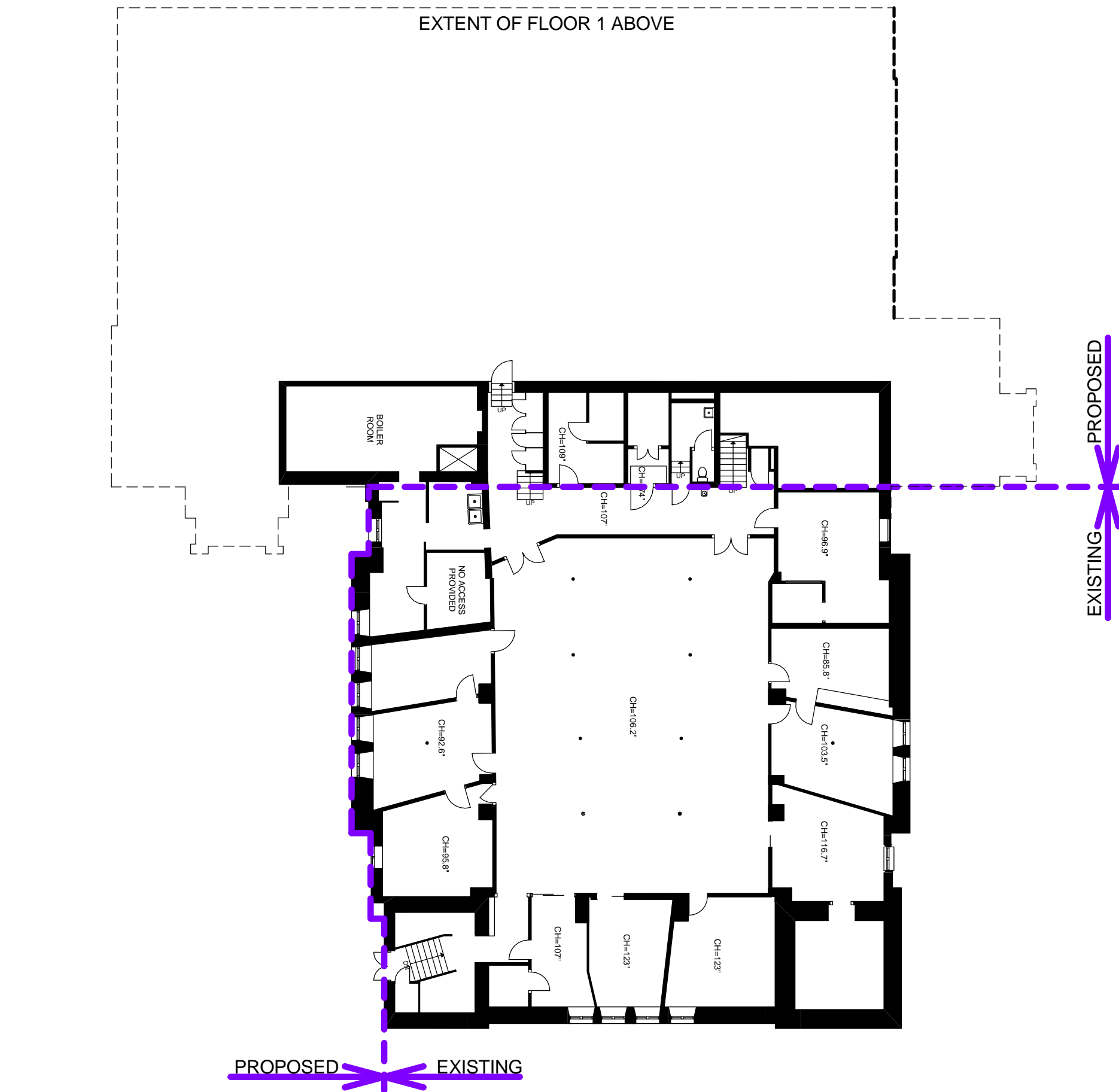


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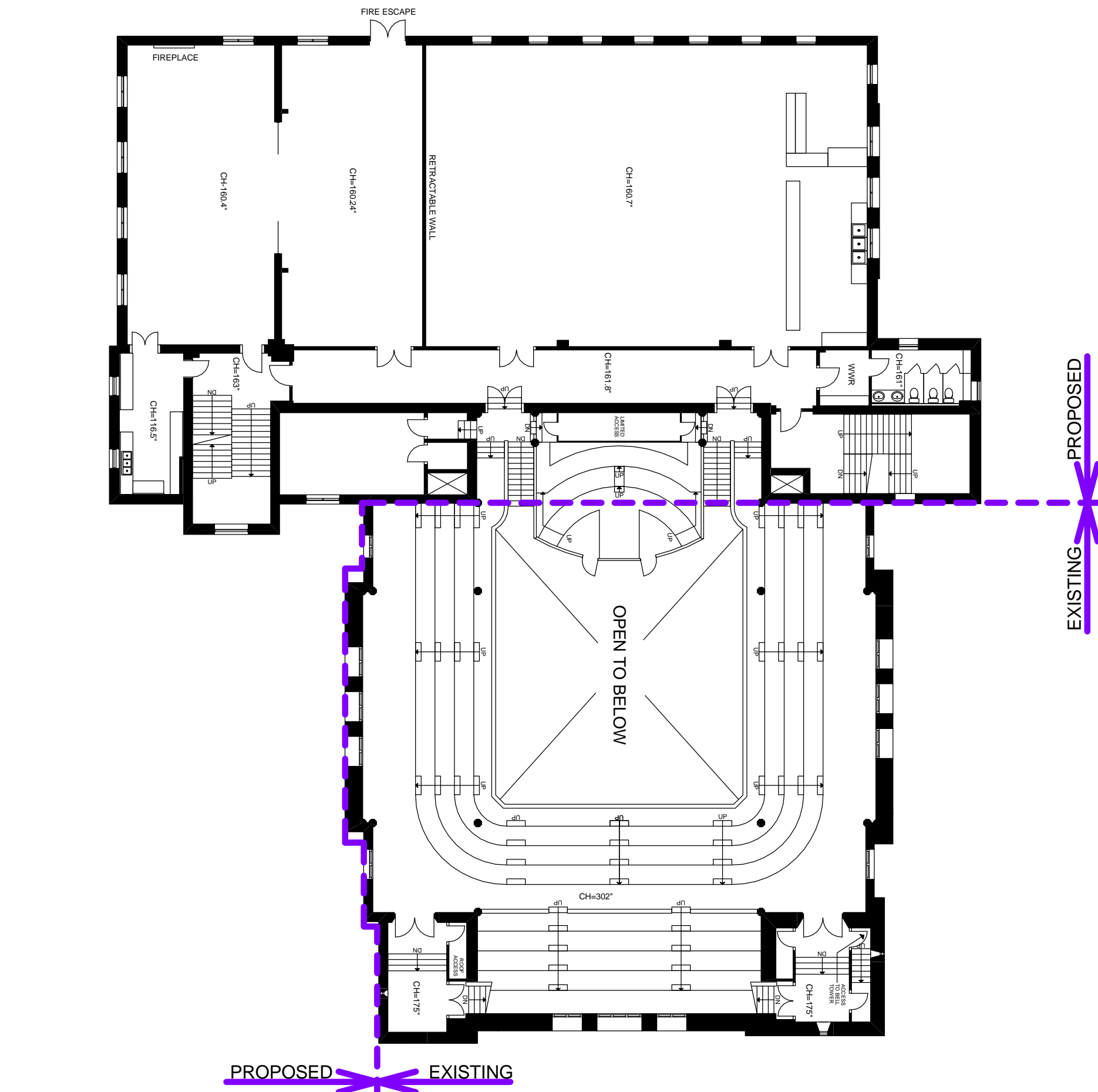
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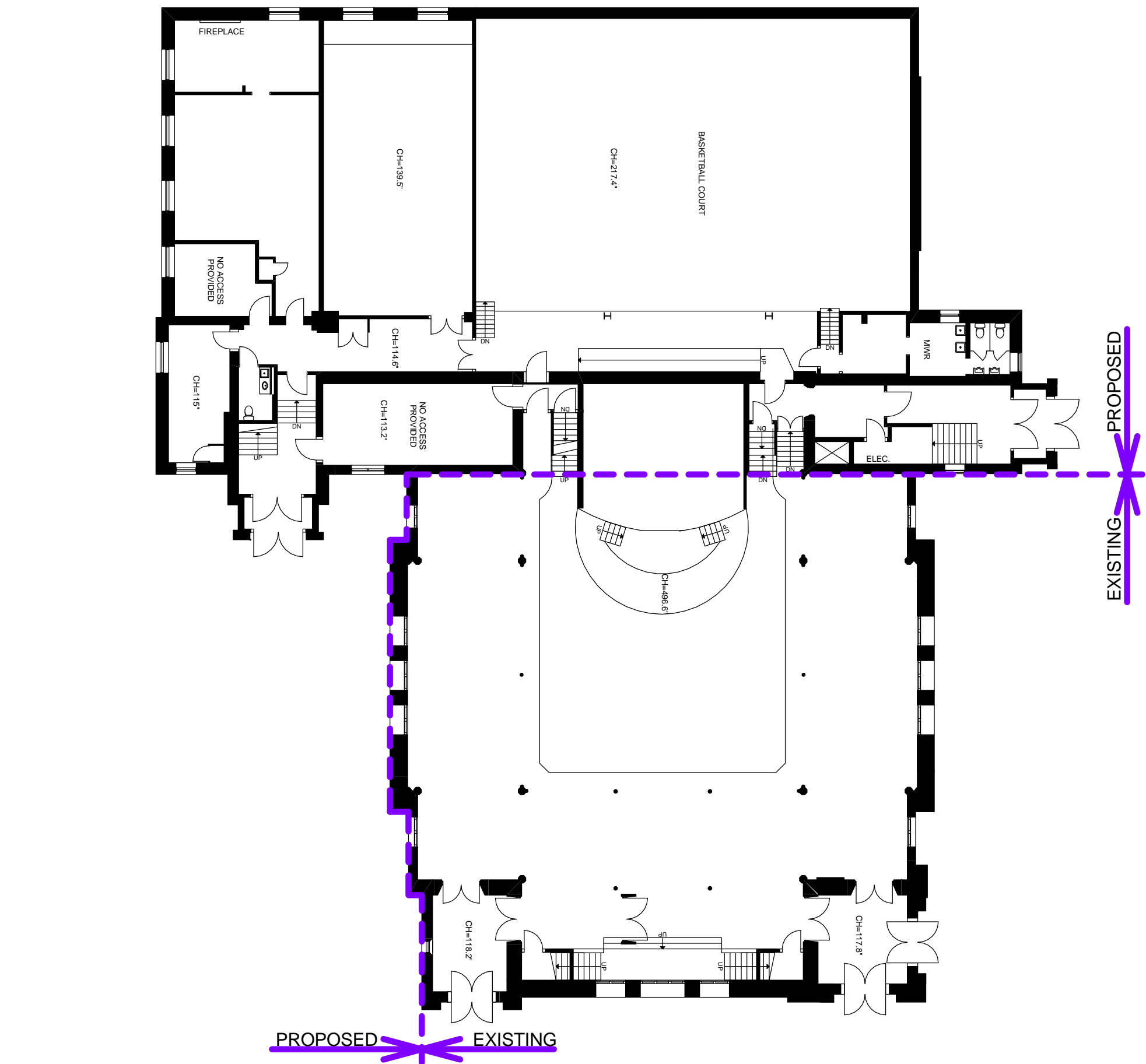
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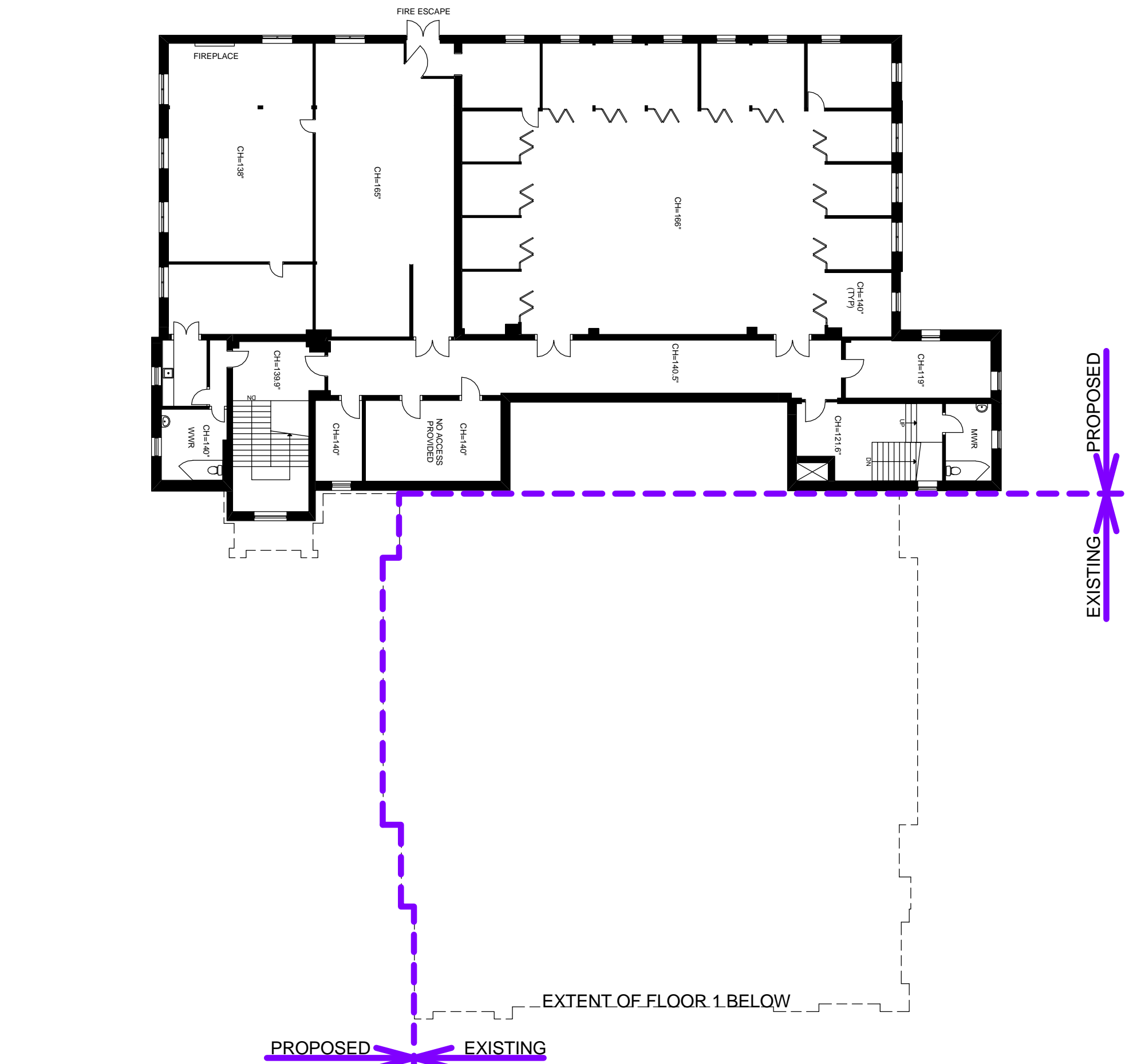
EXISTING BASEMENT PLAN



EXISTING FLOOR 2 PLAN



EXISTING FLOOR 1 PLAN



EXISTING FLOOR 3 PLAN

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TORONTO, ONTARIO

Drawing Name :
EXISTING PLANS

Proj no. :	15.281	Date :	2015-10-16
Drawn by :	AA	Scale :	1 : 20
Checked by :	RM		

Drawing No :

 **RZ 07**

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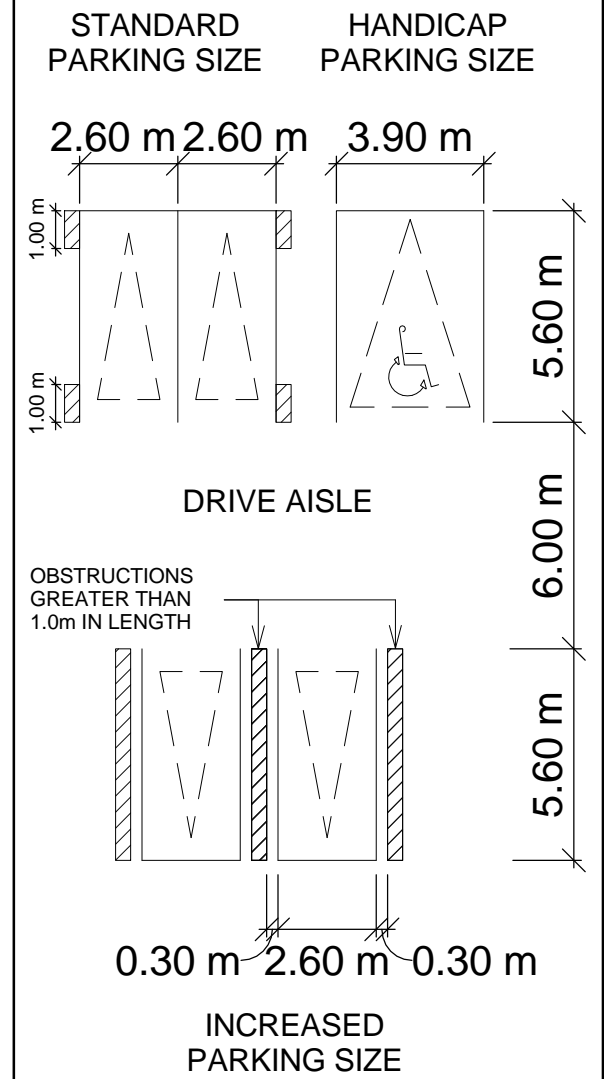
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**MINIMUM PERMITTED DIMENSIONS
PER BY-LAW 569-2013**

aisle width:
MIN 6m

TYPICAL PARKING SPACE:
MIN 2.6 x 5.6 x 2.0m HIGH

TYPICAL BARRIER FREE SPACES:
MIN 3.9 x 5.6 x 2.10m HIGH



**NOTE: ALL PARKING SPACES ARE
TYPICAL (2.6 x 5.6 x 2.0m) UNLESS
OTHERWISE NOTED**

**E.V.: ELECTRICAL ENGINEER TO
PROVIDE JUNCTION BOXES FOR
PLUG-IN ELECTRICAL VEHICLES
(TOTAL 1 EV PARKING SPACES)**

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Client :
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Project :
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CHURCH LOFTS AND RESIDENCES**
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
**UNDERGROUND
LEVEL 2**

Proj no. :	15.281	Date :	2015-10-16
Drawn by :	AA	Scale :	As indicated
Checked by :	RM		

Drawing No :

RZ 08



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PER BY-LAW 569-2013**

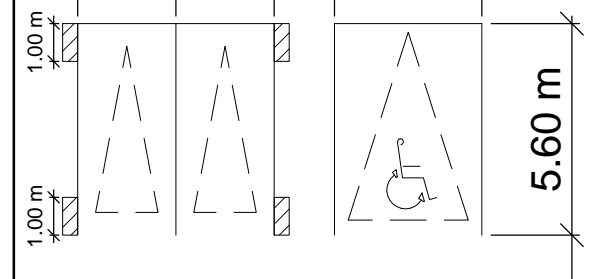
aisle width:
MIN 6m

TYPICAL PARKING SPACE:
MIN 2.6 x 5.6 x 2.0m HIGH

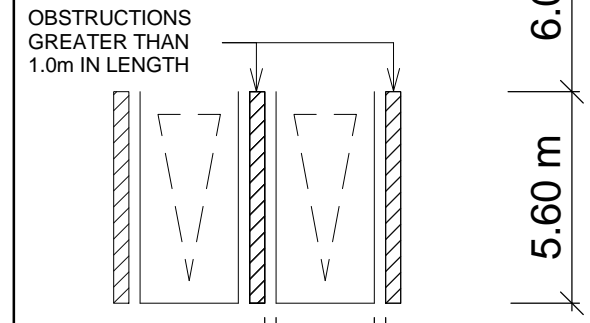
TYPICAL BARRIER FREE SPACES:
MIN 3.9 x 5.6 x 2.10m HIGH

**STANDARD
PARKING SIZE**

**HANDICAP
PARKING SIZE**



DRIVE AISLE



0.30 m- 2.60 m- 0.30 m

**INCREASED
PARKING SIZE**

**NOTE: ALL PARKING SPACES ARE
TYPICAL (2.6 x 5.6 x 2.0m) UNLESS
OTHERWISE NOTED**

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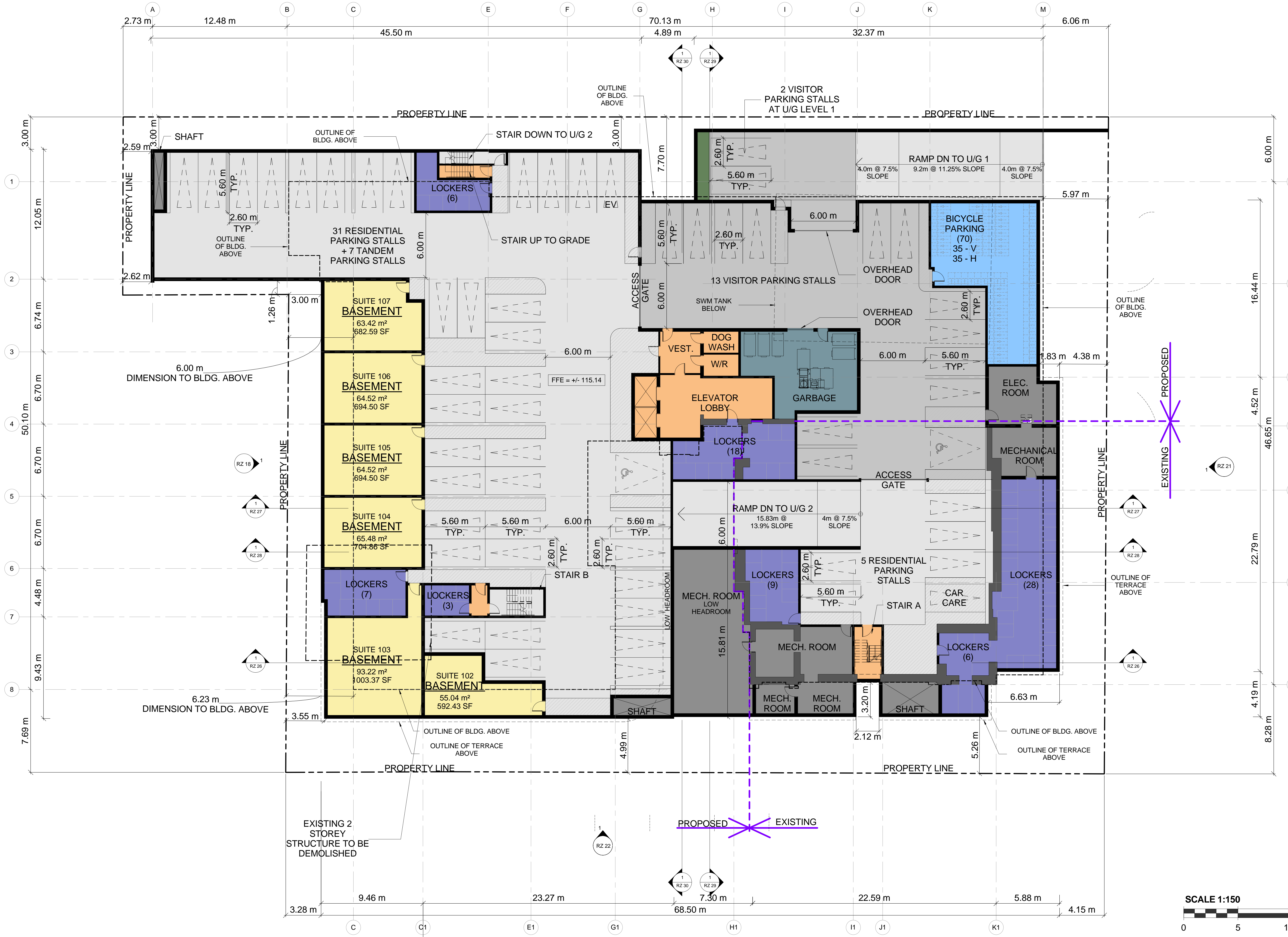
Project :
**No. 260 HIGH PARK
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TORONTO, ONTARIO

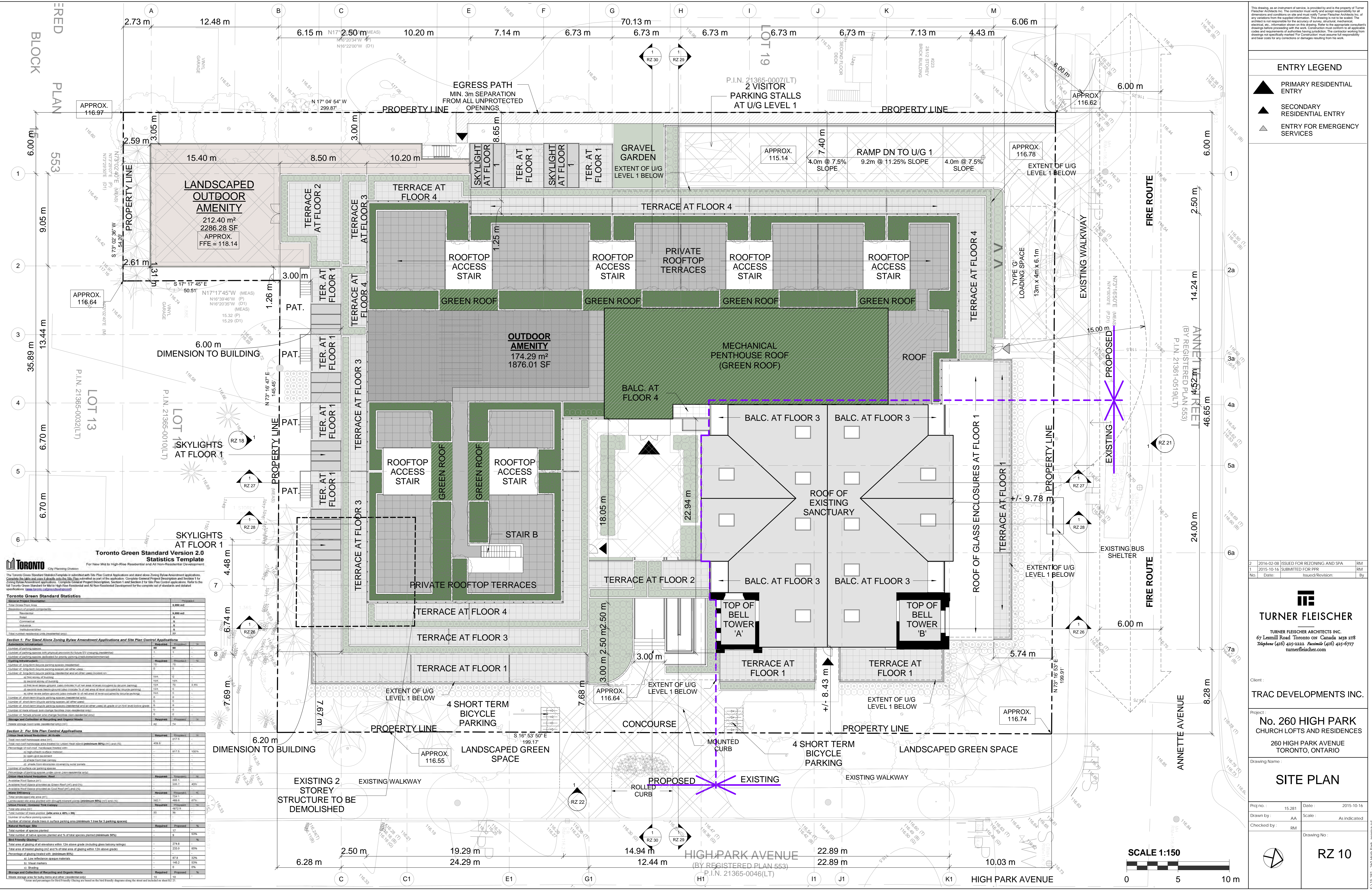
Drawing Name :
**UNDERGROUND
LEVEL 1**

Proj no. :	15.281	Date :	2015-10-16
Drawn by :	AA	Scale :	As indicated
Checked by :	RM		
		Drawing No. :	

 **RZ 09**

SCALE 1:150





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ENTRY LEGEND

PRIMARY RESIDENTIAL ENTRY

SECONDARY RESIDENTIAL ENTRY

ENTRY FOR EMERGENCY SERVICES

2

2016-02-08

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RM

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2015-10-16

SUBMITTED FOR PPR

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Date:

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Client :

TRAC DEVELOPMENTS INC.

Project :

No. 260 HIGH PARK
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260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :

SITE PLAN

Proj no. :

15.281

Date :

2015-10-16

Drawn by :

AA

Scale :

As indicated

Checked by :

RM

Drawing No. :

RZ 10

0

5

10 m

15.281 - 260 High Park, Section 10

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260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
FLOOR 3 PLAN

Proj no. :	15.281	Date :	2015-10-16
Drawn by :	AA	Scale :	1 : 150
Checked by :	RM	Drawing No. :	

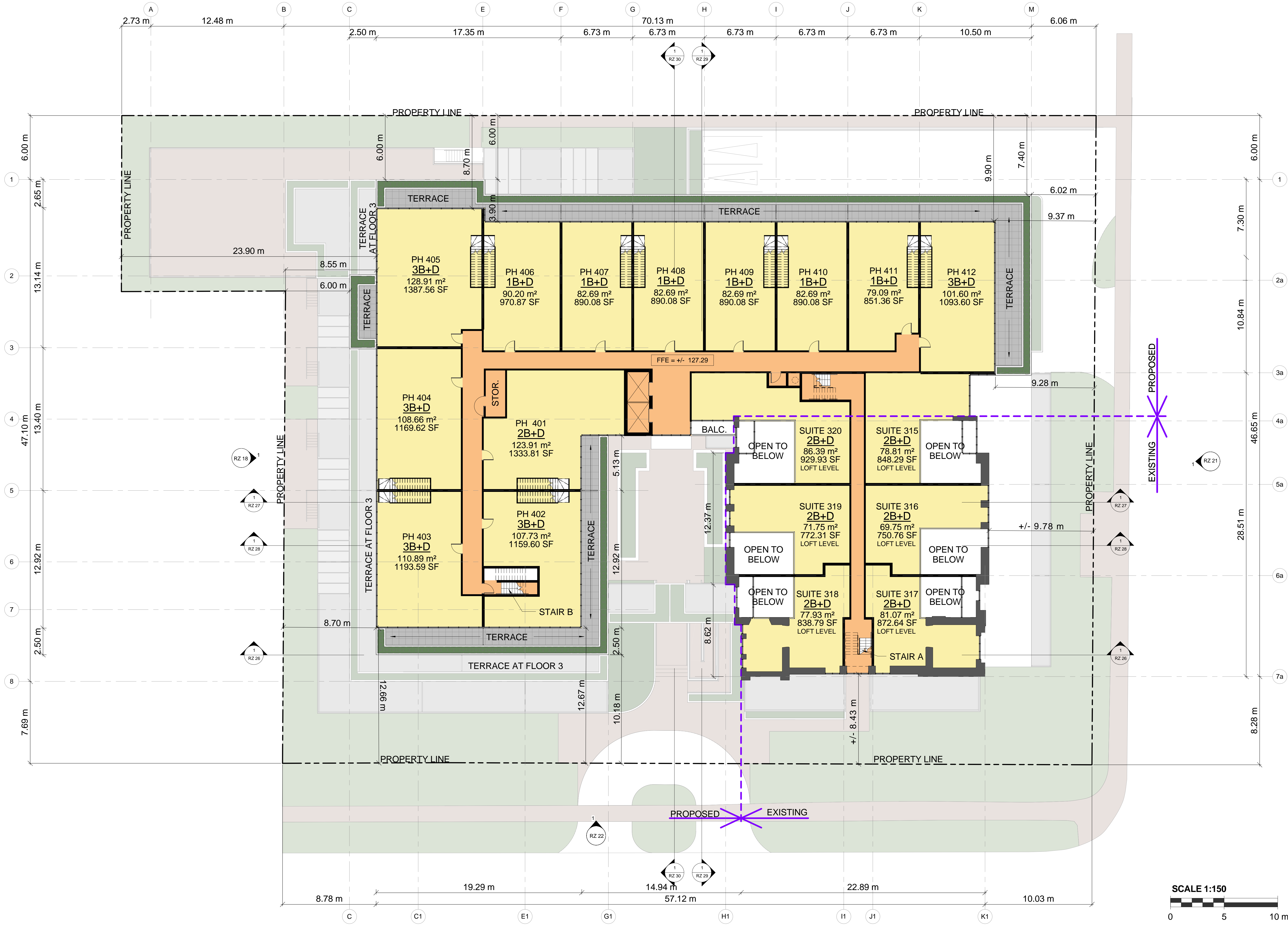
RZ 13



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CHURCH LOFTS AND RESIDENCES**
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
FLOOR 4 PLAN

Proj no.:	15.281	Date:	2015-10-16
Drawn by:	AA	Scale:	1:150
Checked by:	RM		

Drawing No :
RZ 14

0 5 10 m

SCALE 1:150

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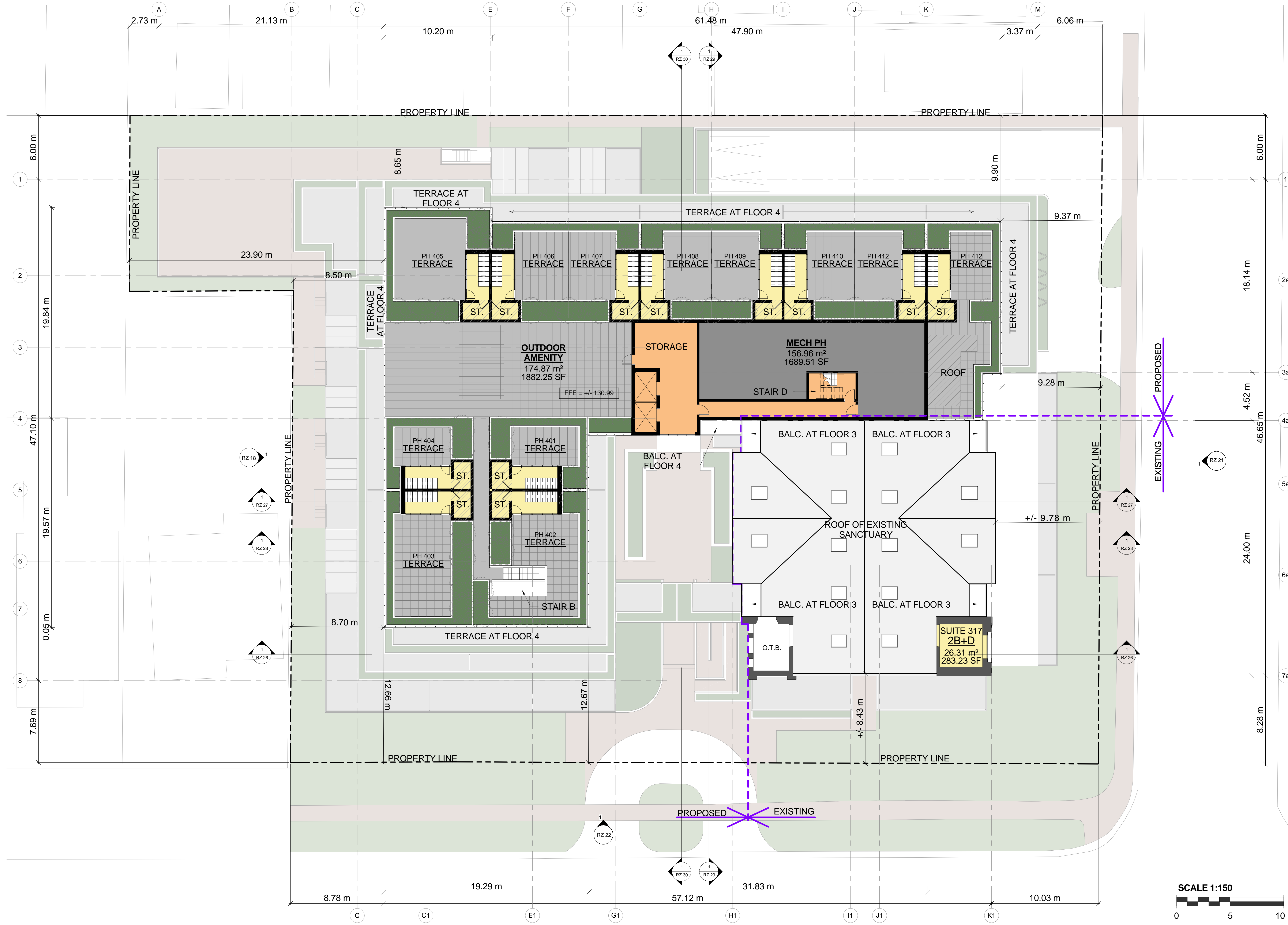
Drawing Name :
ROOF PLAN

Proj no.:	15.281	Date:	2015-10-16
Drawn by:	AA	Scale:	1 : 150
Checked by:	RM	Drawing No.:	

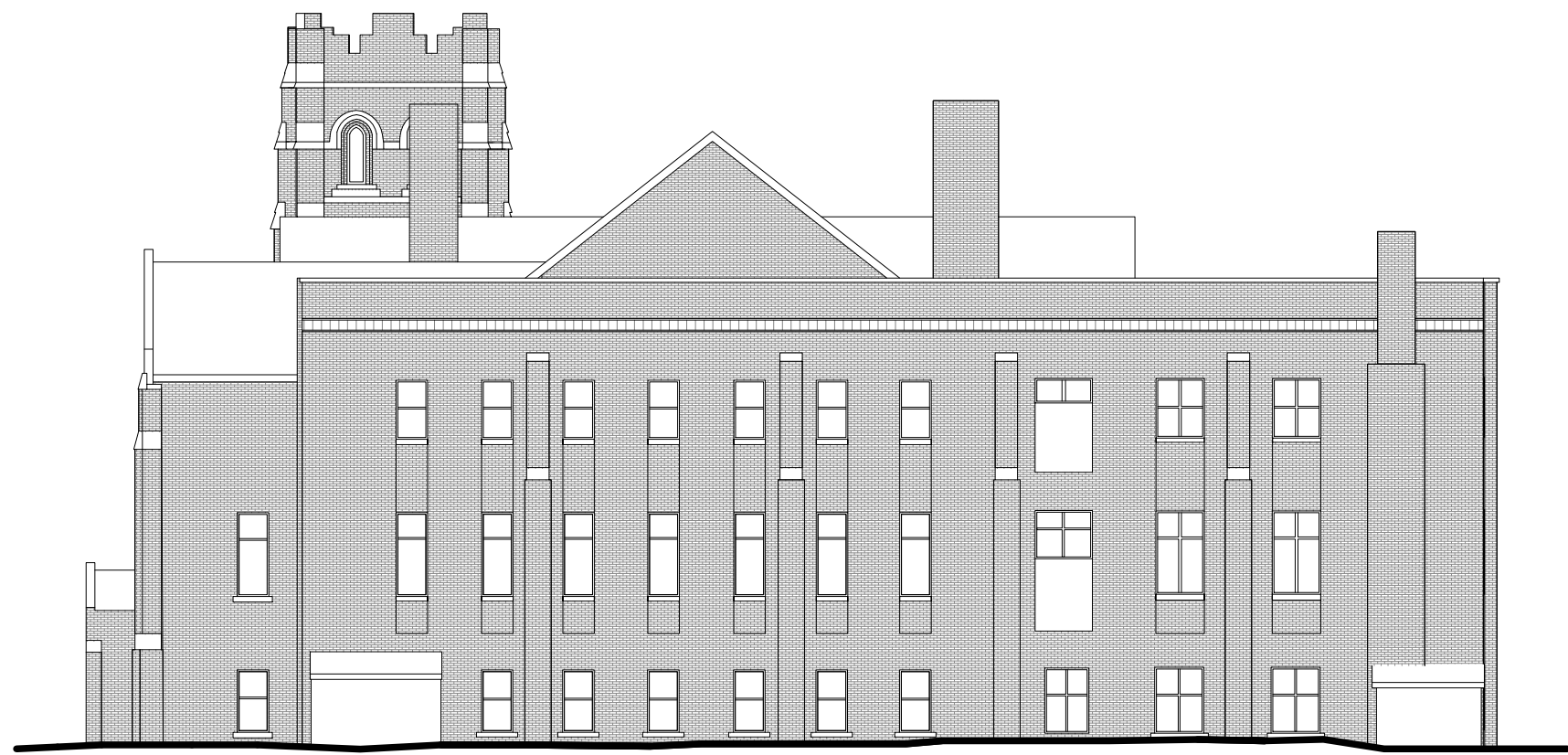


RZ 15

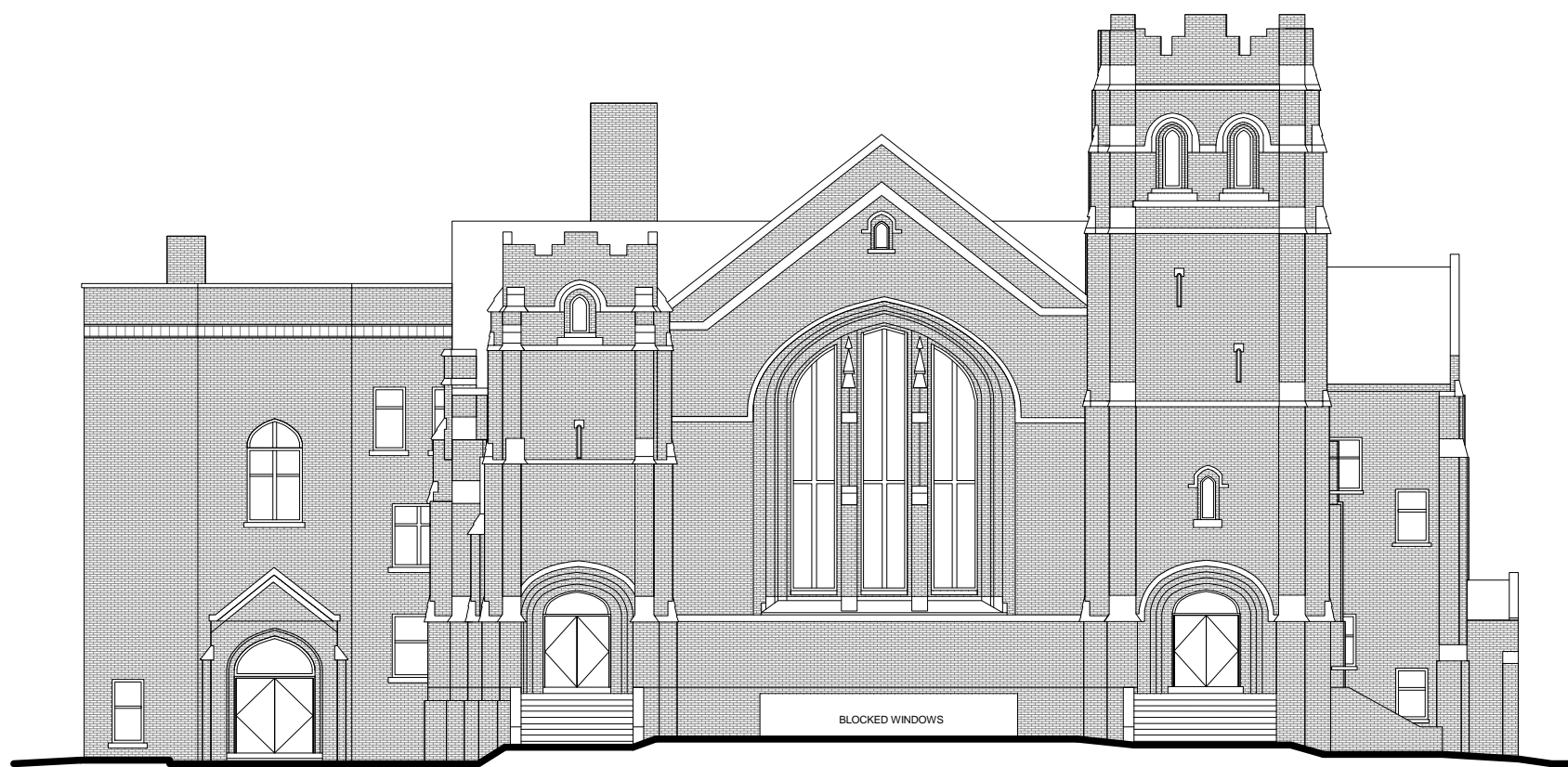
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EXISTING WEST ELEVATION



EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION



EXISTING SOUTH ELEVATION

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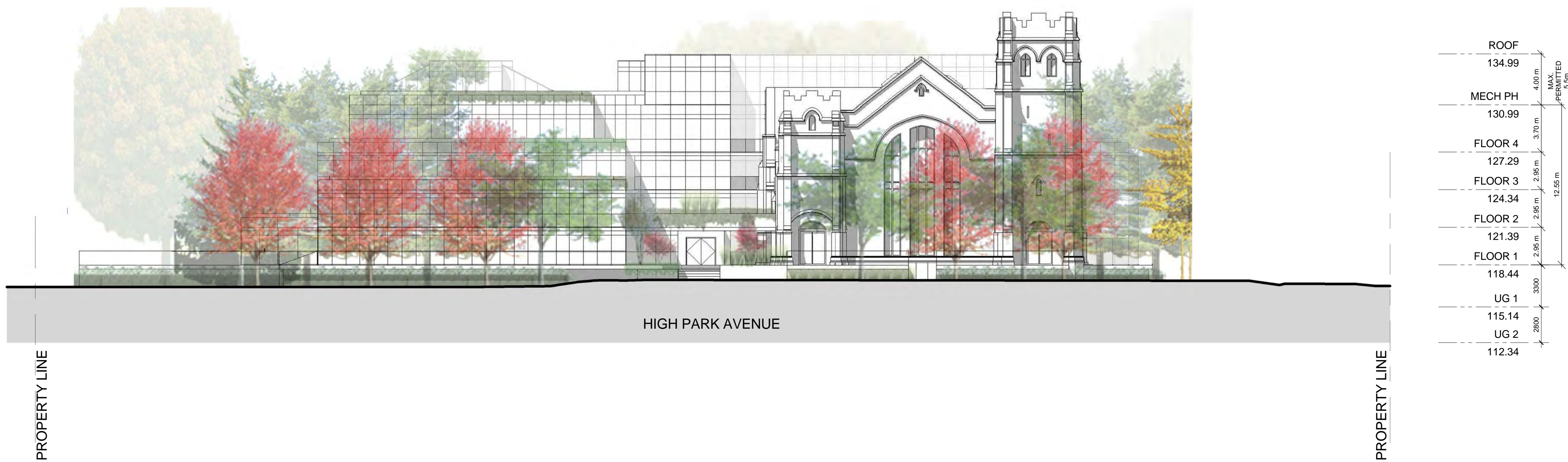
Project :
**No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES
260 HIGH PARK AVENUE
TORONTO, ONTARIO**

Drawing Name :
**EXISTING
ELEVATIONS**

Proj no. :	15_281	Date :	2015-10-16
Drawn by :	AA	Scale :	1 : 200
Checked by :	RM		

Drawing No :
RZ 16

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PROPOSED EAST ELEVATION

SCALE 1:200



2	2016-02-08	ISSUED FOR REZONING AND SPA	RM
1	2015-10-16	SUBMITTED FOR PPR	RM
No.	Date:	Issued/Revision:	By



TURNER FLEISCHER

TURNER FLEISCHER ARCHITECTS INC.
67 Lesmill Road Toronto ON Canada M3B 2T8
Telephone (416) 425-2222 Facsimile (416) 425-6717
turnerfleischer.com

Client :

TRAC DEVELOPMENTS INC.

Project :
No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES

260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
**PRESENTATION
ELEVATIONS**

Proj no. : 15.281	Date : 2015-10-16
Drawn by : AA	Scale : 1 : 200
Checked by : RM	

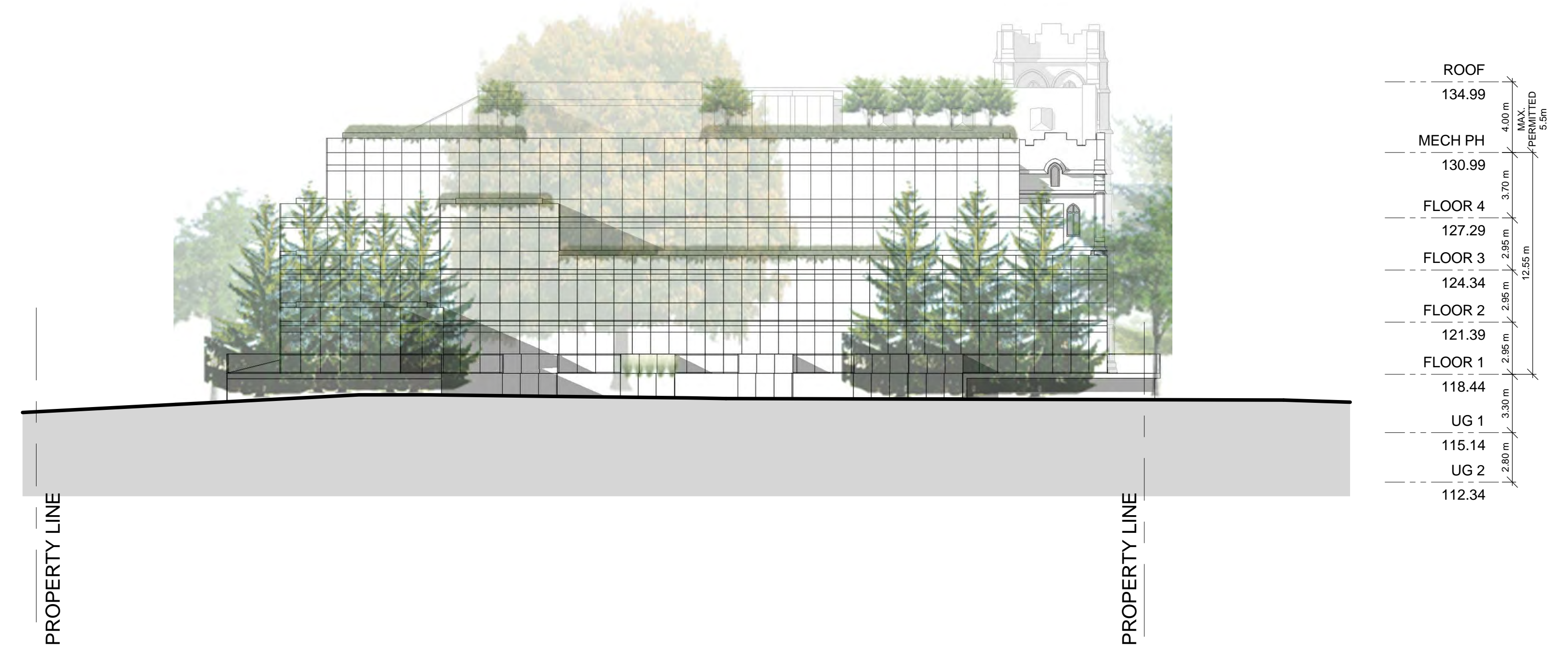
Drawing No :

RZ 17

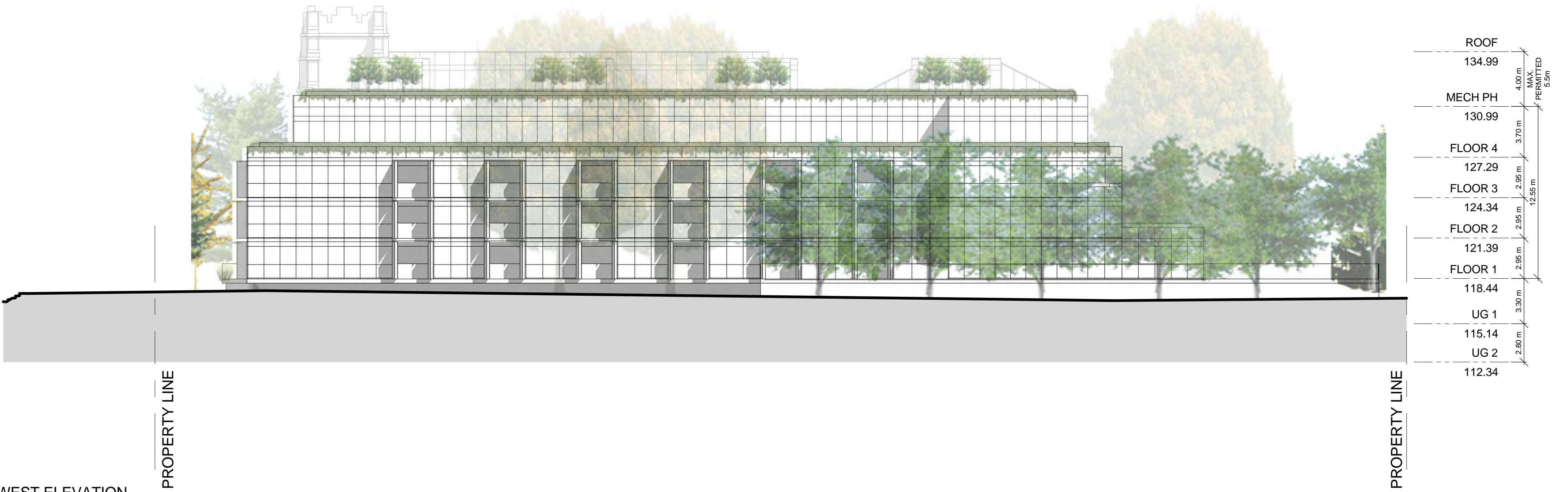
E:\15,281 - 260 High Park_asema.rvt

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PROPOSED SOUTH ELEVATION



PROPOSED WEST ELEVATION



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Client :
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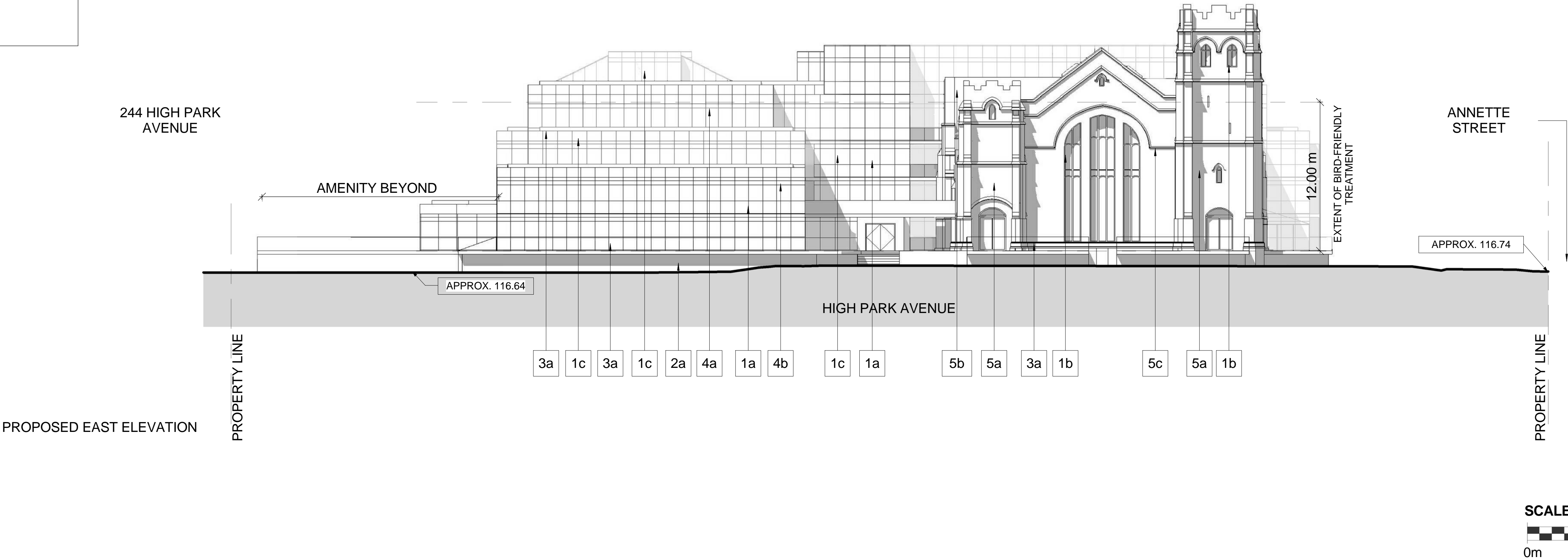
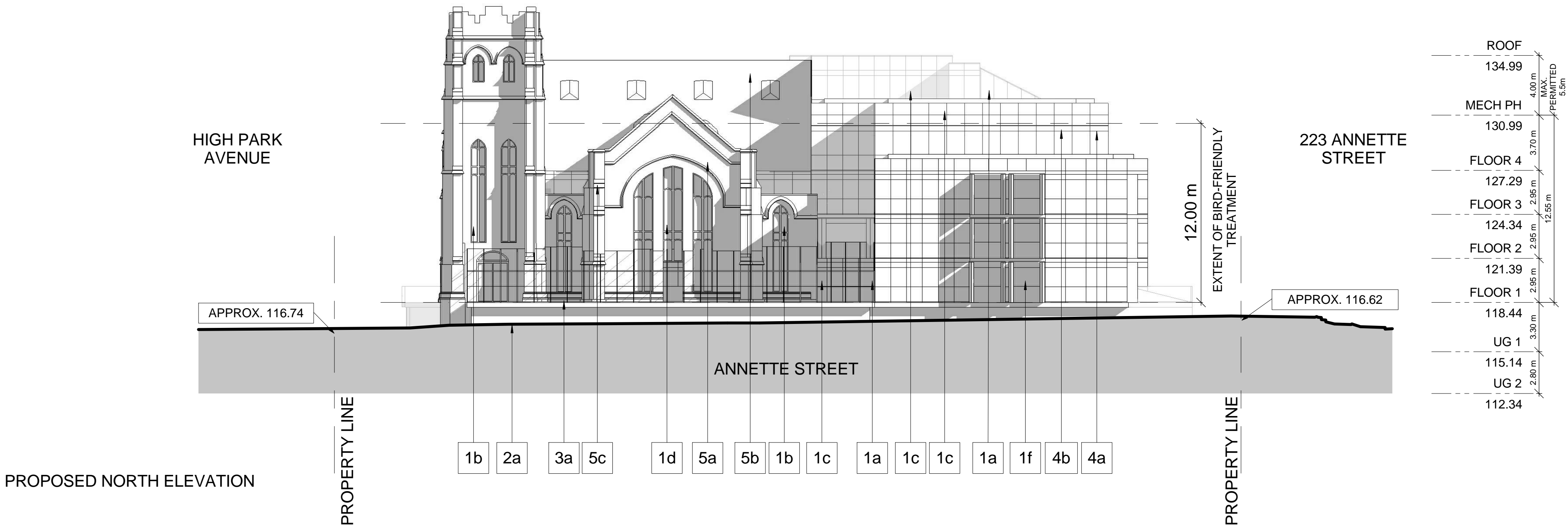
Project :
**No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES**
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
**PRESENTATION
ELEVATIONS**

Proj no. :	15_281	Date :	2015-10-16
Drawn by :	AA	Scale :	1 : 200
Checked by :	RM		

Drawing No :
RZ 18

EXTERIOR FINISHES SCHEDULE	
1 - ALUMINUM WINDOW WALL GLAZING SYSTEM	
1a	DOUBLE GLAZED SEALED UNIT IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREEN</i> SOLAR E VISION GLASS - <i>EMERALD GREEN</i>
1b	DOUBLE GLAZED SEALED UNIT IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREY</i> SOLAR E VISION GLASS - <i>CLEAR</i>
1c	SPANDREL GLASS IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREEN</i> SPANDREL GLASS PANEL - <i>EMERALD GREEN</i>
1d	SPANDREL GLASS IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREY</i> SPANDREL GLASS PANEL - <i>GREY</i>
1f	FULLY OPENABLE BIFOLDS WITH RAILING FRAME FINISH - <i>DARK GREEN</i> SOLAR E VISION GLASS - <i>EMERALD GREEN</i> RAILING FINISH - <i>DARK GREEN</i>
2 - ARCHITECTURAL MASONRY	
2a	ARCHITECTURAL FLAGSTONE - <i>GREY</i>
3 - RAILINGS	
3a	BALCONY/TERRACE GLAZED RAILS FRAME FINISH - <i>DARK GREEN</i> SOLAR E VISION GLASS - <i>CLEAR</i>
4 - METAL LOUVERS	
4a	ARCHITECTURAL LOUVRE COLOUR TO MATCH WW FRAME (<i>DARK GREEN</i>)
4b	PREFABRICATED ALUMINUM MECHANICAL LOUVRE. COLOUR TO MATCH ADJACENT EXTERIOR CLADDING
5 - EXISTING MATERIALS	
5a	EXISTING BRICK - <i>RED</i>
5b	EXISTING ASPHALT SHINGLE - <i>GREY</i>
5c	EXISTING STONE TRIM - <i>GREY</i>



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Client :
TRAC DEVELOPMENTS INC.

Project :
**No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES**
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
**PROPOSED
ELEVATIONS**

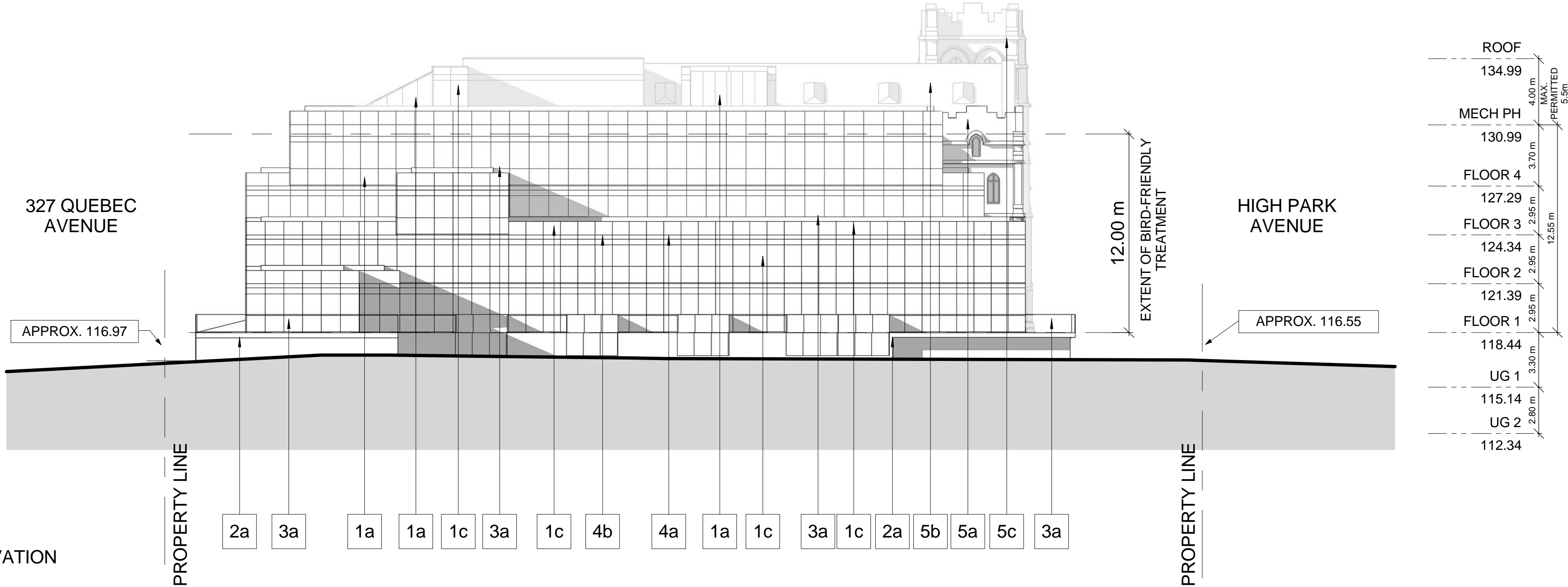
Proj no. :	15.281	Date :	2015-10-16
Drawn by :	AA	Scale :	As indicated
Checked by :	RM		

Drawing No :

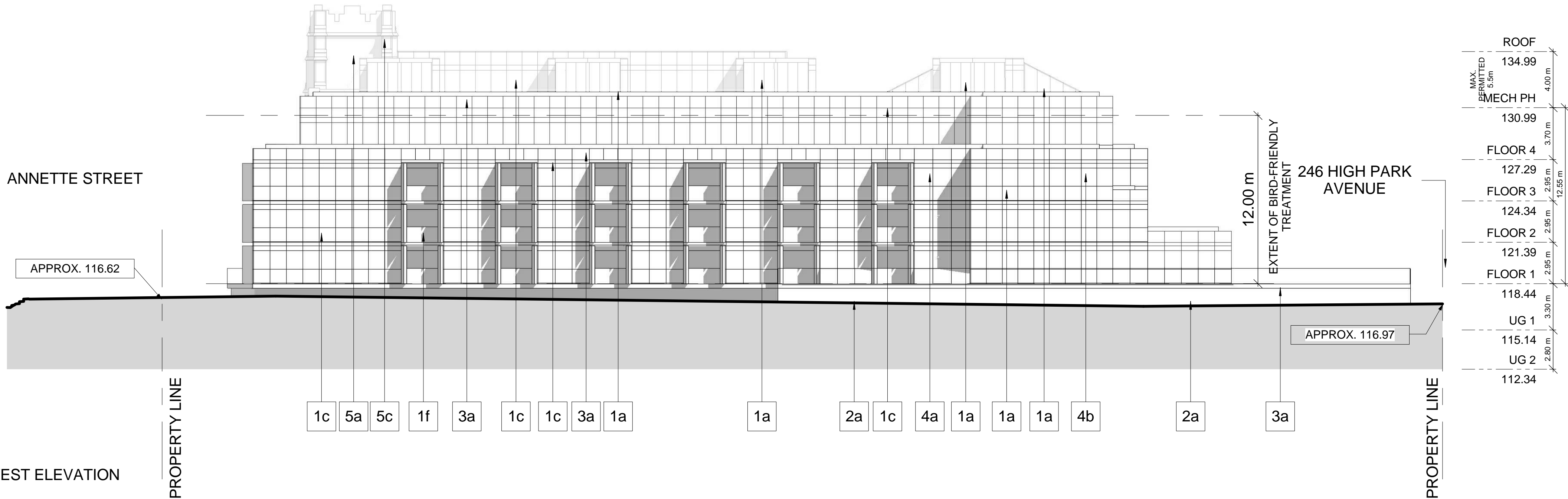
RZ 19

EXTERIOR FINISHES SCHEDULE	
1 - ALUMINUM WINDOW WALL GLAZING SYSTEM	
1a	DOUBLE GLAZED SEALED UNIT IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREEN</i> SOLAR E VISION GLASS - <i>EMERALD GREEN</i>
1b	DOUBLE GLAZED SEALED UNIT IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREY</i> SOLAR E VISION GLASS - <i>CLEAR</i>
1c	SPANDREL GLASS IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREEN</i> SPANDREL GLASS PANEL - <i>EMERALD GREEN</i>
1d	SPANDREL GLASS IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREY</i> SPANDREL GLASS PANEL - <i>GREY</i>
1f	FULLY OPENABLE BIFOLDS WITH RAILING FRAME FINISH - <i>DARK GREEN</i> SOLAR E VISION GLASS - <i>EMERALD GREEN</i> RAILING FINISH - <i>DARK GREEN</i>
2 - ARCHITECTURAL MASONRY	
2a	ARCHITECTURAL FLAGSTONE - <i>GREY</i>
3 - RAILINGS	
3a	BALCONY/TERRACE GLAZED RAILS FRAME FINISH - <i>DARK GREEN</i> SOLAR E VISION GLASS - <i>CLEAR</i>
4 - METAL LOUVERS	
4a	ARCHITECTURAL LOUVRE COLOUR TO MATCH WW FRAME (<i>DARK GREEN</i>)
4b	PREFABRICATED ALUMINUM MECHANICAL LOUVRE. COLOUR TO MATCH ADJACENT EXTERIOR CLADDING
5 - EXISTING MATERIALS	
5a	EXISTING BRICK - <i>RED</i>
5b	EXISTING ASPHALT SHINGLE - <i>GREY</i>
5c	EXISTING STONE TRIM - <i>GREY</i>

PROPOSED SOUTH ELEVATION



PROPOSED WEST ELEVATION



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Client :
TRAC DEVELOPMENTS INC.

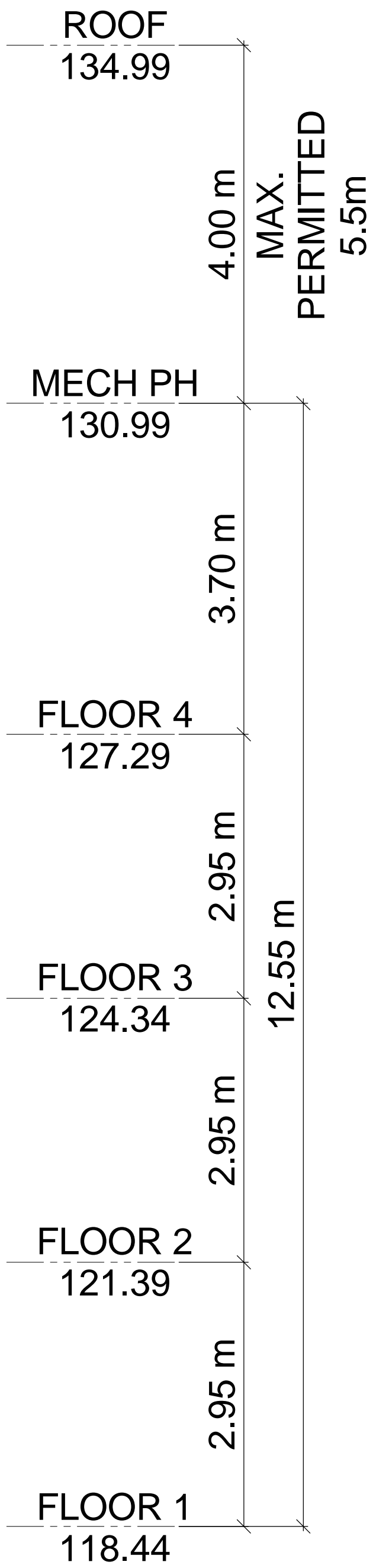
Project :
**No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES**
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
**PROPOSED
ELEVATIONS**

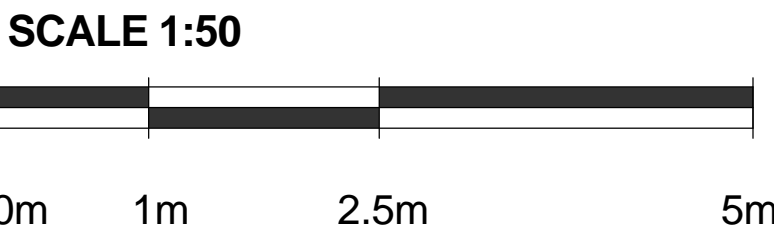
Proj no. :	15.281	Date :	2015-10-16
Drawn by :	AA	Scale :	As indicated
Checked by :	RM		

Drawing No :
RZ 20

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ANNETTE STREET



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1	2015-10-16	SUBMITTED FOR PPR	RM
No.	Date:	Issued/Revision:	By

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Client :
TRAC DEVELOPMENTS INC.

Project :
**No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES**
260 HIGH PARK AVENUE
TORONTO, ONTARIO

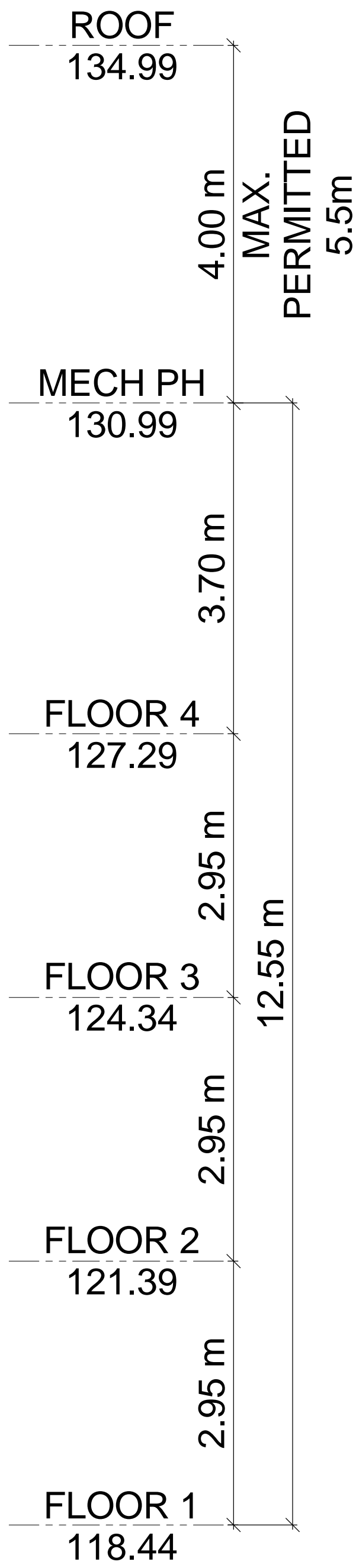
Drawing Name : **NORTH
PRESENTATION
ELEVATION**

Proj no. :	15.281	Date :	2015-10-16
Drawn by :	AA	Scale :	1 : 50
Checked by :	RM		

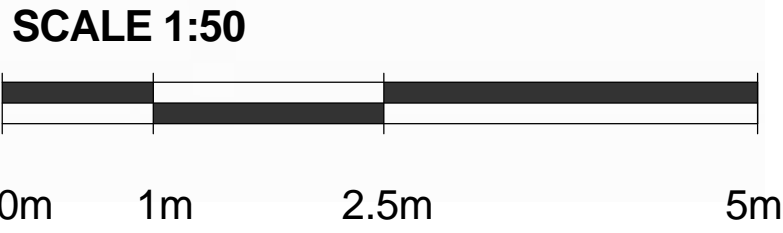
Drawing No :
RZ 21

E:\15.281 - 260 High Park_ChurchLofts.rvt

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HIGH PARK AVENUE



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Client :
TRAC DEVELOPMENTS INC.

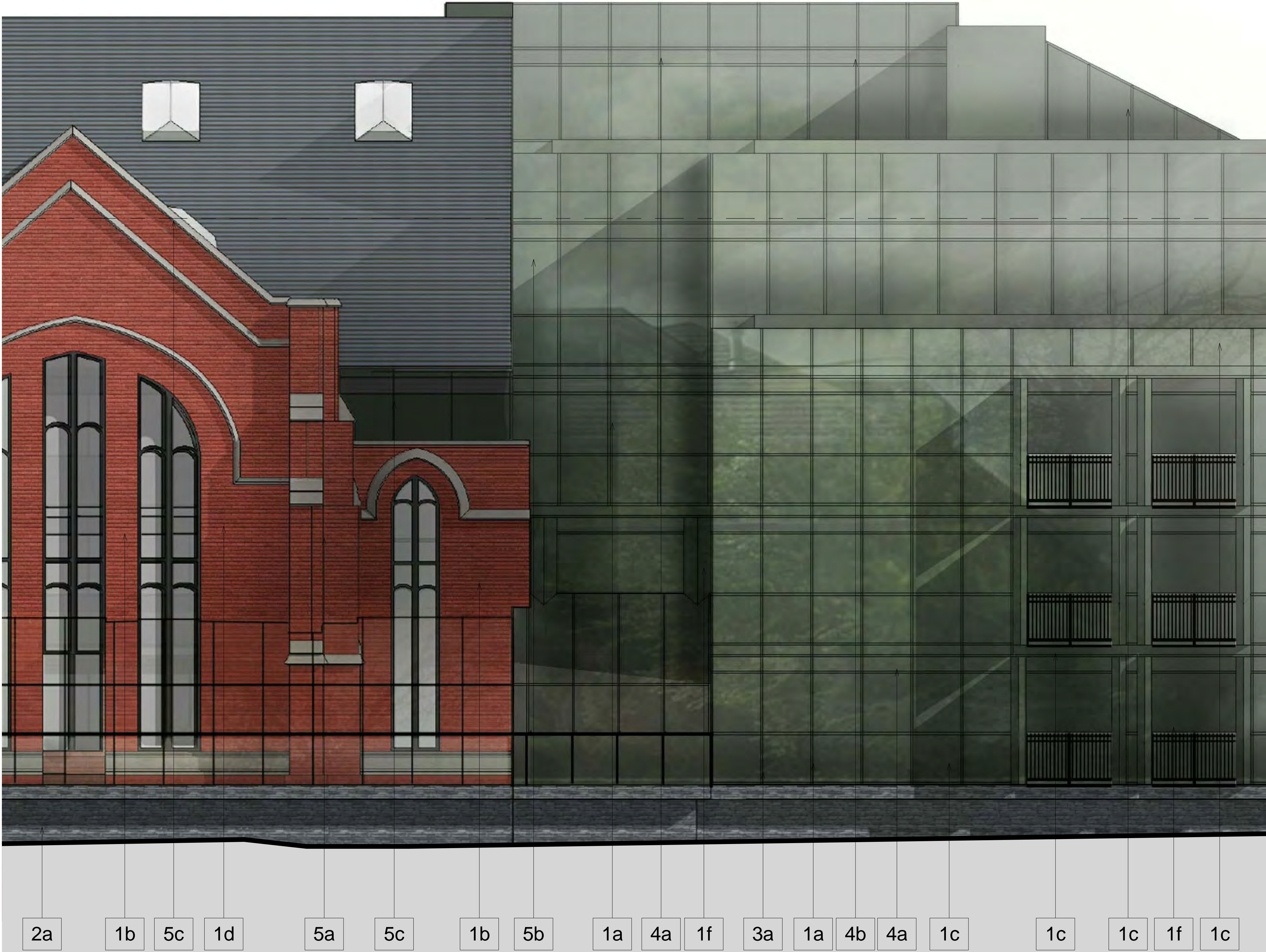
Project :
No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
**EAST
PRESENTATION
ELEVATION**

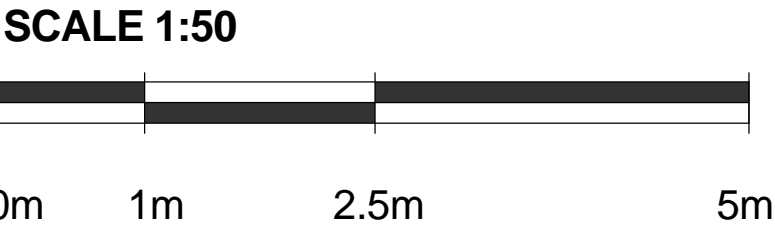
Proj no. :	15.281	Date :	2015-10-16
Drawn by :	AA	Scale :	1 : 50
Checked by :	RM		

Drawing No :
RZ 22

EXTERIOR FINISHES SCHEDULE	
1 - ALUMINUM WINDOW WALL GLAZING SYSTEM	
1a	DOUBLE GLAZED SEALED UNIT IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREEN</i> SOLAR E VISION GLASS - <i>EMERALD GREEN</i>
1b	DOUBLE GLAZED SEALED UNIT IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREY</i> SOLAR E VISION GLASS - <i>CLEAR</i>
1c	SPANDREL GLASS IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREEN</i> SPANDREL GLASS PANEL - <i>EMERALD GREEN</i>
1d	SPANDREL GLASS IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREY</i> SPANDREL GLASS PANEL - <i>GREY</i>
1f	FULLY OPENABLE BIFOLDS WITH RAILING FRAME FINISH - <i>DARK GREEN</i> SOLAR E VISION GLASS - <i>EMERALD GREEN</i> RAILING FINISH - <i>DARK GREEN</i>
2 - ARCHITECTURAL MASONRY	
2a	ARCHITECTURAL FLAGSTONE - <i>GREY</i>
3 - RAILINGS	
3a	BALCONY/TERRACE GLAZED RAILS FRAME FINISH - <i>DARK GREEN</i> SOLAR E VISION GLASS - <i>CLEAR</i>
4 - METAL LOUVERS	
4a	ARCHITECTURAL LOUVRE COLOUR TO MATCH WW FRAME (<i>DARK GREEN</i>)
4b	PREFABRICATED ALUMINUM MECHANICAL LOUVRE, COLOUR TO MATCH ADJACENT EXTERIOR CLADDING
5 - EXISTING MATERIALS	
5a	EXISTING BRICK - <i>RED</i>
5b	EXISTING ASPHALT SHINGLE - <i>GREY</i>
5c	EXISTING STONE TRIM - <i>GREY</i>



ANNETTE STREET



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Client :
TRAC DEVELOPMENTS INC.

Project :
**No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES**
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
**NORTH DETAIL
ELEVATION**

Proj no. :	15.281	Date :	2015-10-16
Drawn by :	AA	Scale :	1 : 50
Checked by :	RM		

Drawing No :
RZ 23

EXTERIOR FINISHES SCHEDULE
1 - ALUMINUM WINDOW WALL GLAZING SYSTEM
1a DOUBLE GLAZED SEALED UNIT IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREEN</i> SOLAR E VISION GLASS - <i>EMERALD GREEN</i>
1b DOUBLE GLAZED SEALED UNIT IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREY</i> SOLAR E VISION GLASS - <i>CLEAR</i>
1c SPANDREL GLASS IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREEN</i> SPANDREL GLASS PANEL - <i>EMERALD GREEN</i>
1d SPANDREL GLASS IN ALUMINUM FRAME FRAME FINISH - <i>DARK GREY</i> SPANDREL GLASS PANEL - <i>GREY</i>
1f FULLY OPENABLE BIFOLDS WITH RAILING FRAME FINISH - <i>DARK GREEN</i> SOLAR E VISION GLASS - <i>EMERALD GREEN</i> RAILING FINISH - <i>DARK GREEN</i>
2 - ARCHITECTURAL MASONRY
2a ARCHITECTURAL FLAGSTONE - GREY
3 - RAILINGS
3a BALCONY/TERRACE GLAZED RAILS FRAME FINISH - <i>DARK GREEN</i> SOLAR E VISION GLASS - <i>CLEAR</i>
4 - METAL LOUVERS
4a ARCHITECTURAL LOUVRE COLOUR TO MATCH VVW FRAME (<i>DARK GREEN</i>)
4b PREFABRICATED ALUMINUM MECHANICAL LOUVRE. COLOUR TO MATCH ADJACENT EXTERIOR CLADDING
5 - EXISTING MATERIALS
5a EXISTING BRICK - <i>RED</i>
5b EXISTING ASPHALT SHINGLE - <i>GREY</i>
5c EXISTING STONE TRIM - <i>GREY</i>



12.00 m	4.00 m	ROOF 134.99
12.55 m	3.70 m	MECH PH 130.99
2.95 m		FLOOR 4 127.29
2.95 m		FLOOR 3 124.34
2.95 m		FLOOR 2 121.39
2.95 m		FLOOR 1 118.44

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Client :
TRAC DEVELOPMENTS INC.

Project :
**No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES**
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
**EAST DETAIL
ELEVATION**

Proj no. :	15.281	Date :	2015-10-16
Drawn by :	AA	Scale :	1 : 50
Checked by :	RM		

Drawing No :
RZ 24

E:\15.281 - 260 High Park_Residential.rvt

260 HIGH PARK
BIRD FRIENDLY DIAGRAM - EAST ELEVATION

1. Solid / Opaque Surfaces
Of the Buildings vertical surface 563.4m2 of the east elevation is located within the bird-friendly zone. Of this total surface area, 288.8m2 or 51% are opaque surfaces such as precast, brick, metal panel, and aluminum.

2. Glass
Of the Buildings vertical surface located within the bird friendly zone 274.6m2 is comprised of glazed surfaces. Of these glazed surfaces 0% is shaded from balcony and canopy overhangs, 32% is spandrel glass, 53% is vision glass with a frit pattern and 15% is vision glass with no treatment. As such, 15% of all glazed surfaces are left untreated. A breakdown of these areas are shown below:

SURFACE	AREA (m2)	% OF TOTAL VERTICAL SURFACE	% FOR TREATMENTS OF GLAZED SURFACES
Opaque Surfaces - Precast/Metal Panel/Aluminum	288.8	51%	N/A
Glazed Surfaces with Frit Pattern	145.2	26%	53%
Glazed Surfaces with Shading	0.0	0%	0%
Glazed Surfaces - Spandrel Glass	87.8	16%	32%
Glazed Surfaces (Untreated)	41.6	7%	15%
TOTAL	563.4	100%	100%

Frit with a pattern which meets the requirements of the City of Toronto 'Bird Friendly Guidelines' will be used.



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- GLAZED SURFACES TREATED WITH FRIT PATTERN AS PER THE FRIT PATTERN DETAIL
- GLAZED SURFACES SHADED BY BALCONY AND CANOPY OVERHANGS
- GLAZED SURFACES - LOW REFLECTIVE SPANDREL PANEL WITH <15% REFLECTANCE
- GLAZED SURFACES - VISION GLASS (UNTREATED)
- OPAQUE SURFACES SUCH AS PRECAST, BRICK, METAL PANEL AND ALUMINUM

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No.	Date:	Issued/Revision:	By

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Client :
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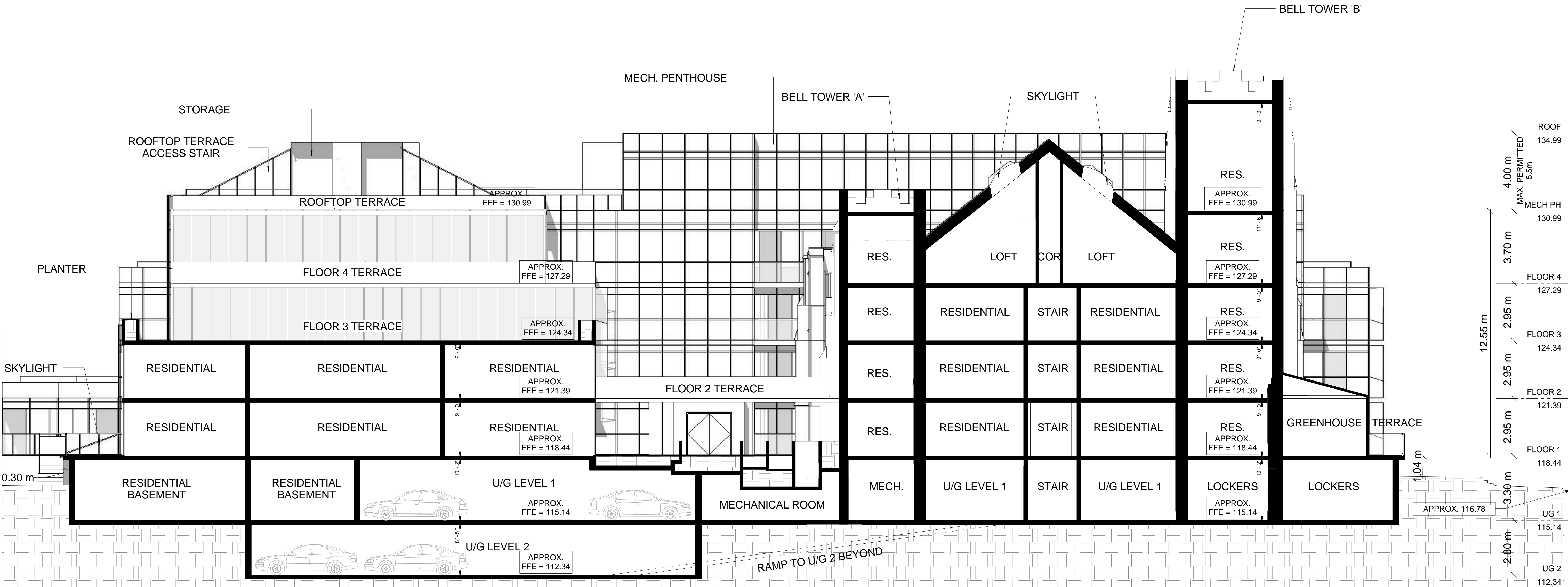
Project :
**No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES**
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
**BIRD FRIENDLY
ELEVATION**

Proj no. :	15.281	Date :	2015-10-16
Drawn by :	AA	Scale :	1 : 150
Checked by :	RM		

Drawing No :
RZ 25

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ROOF	134.99
MAX. PERMITTED 5.5m	
MECH PH	130.99
FLOOR 4	127.29
FLOOR 3	124.34
FLOOR 2	121.39
FLOOR 1	118.44
UG 1	115.14
UG 2	112.34

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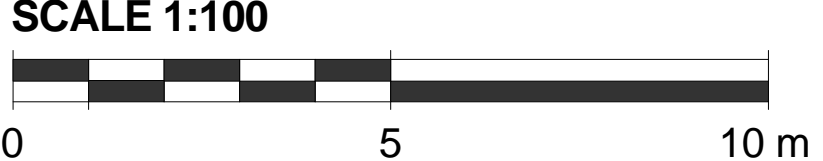
Client :
TRAC DEVELOPMENTS INC.

Project :
**No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES**
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
**BUILDING
SECTION 1**

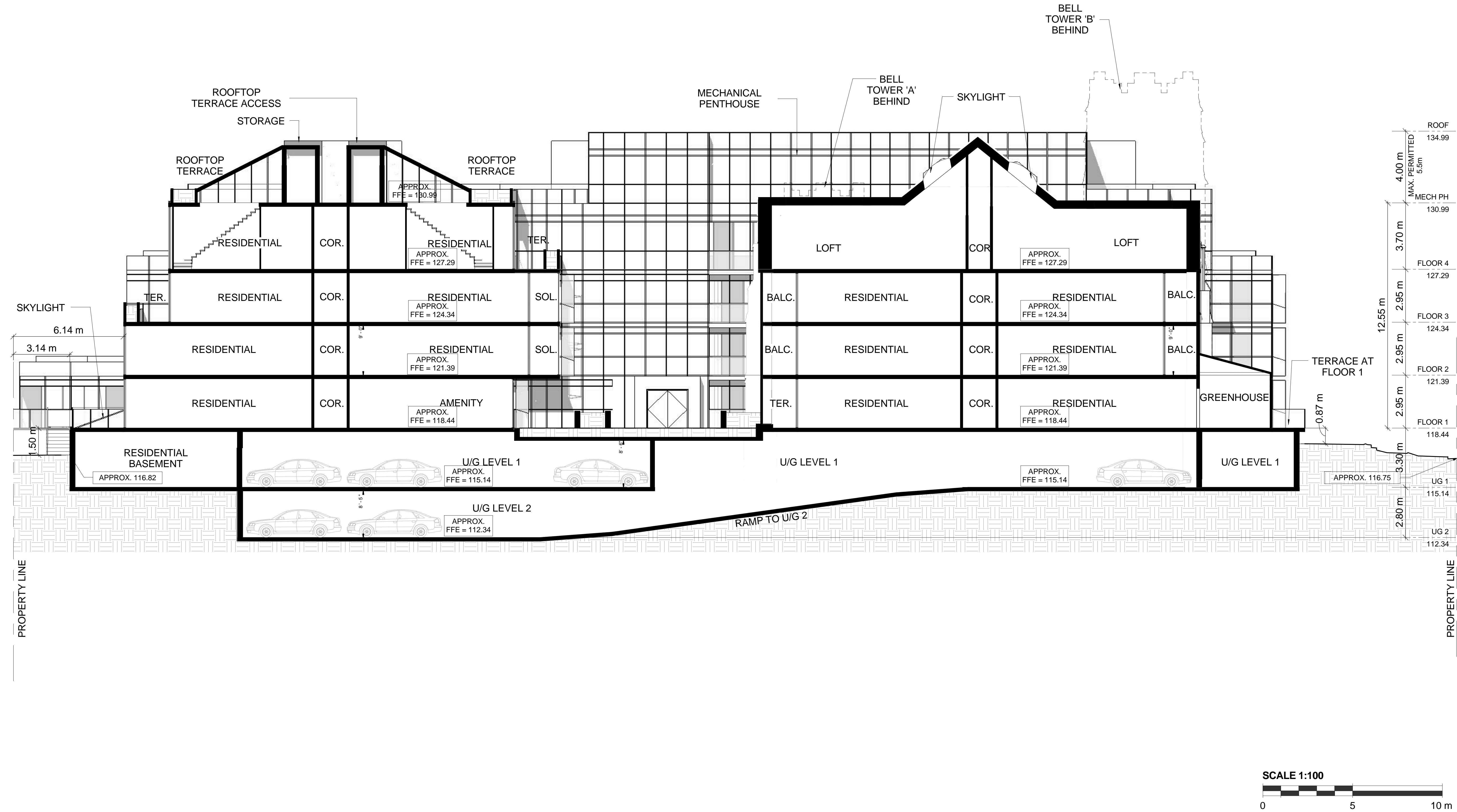
Proj no. :	15.281	Date :	2015-10-16
Drawn by :	AA	Scale :	1 : 100
Checked by :	RM		

Drawing No :
RZ 26



E:\15.281 - 260 High Park_Besma.rvt

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2	2016-02-08	ISSUED FOR REZONING AND SPA	RM
1	2015-10-16	SUBMITTED FOR PPR	RM
No.	Date:	Issued/Revision:	By:

TURNER FLEISCHER

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67 Lesmill Road Toronto ON Canada M3B 2T8
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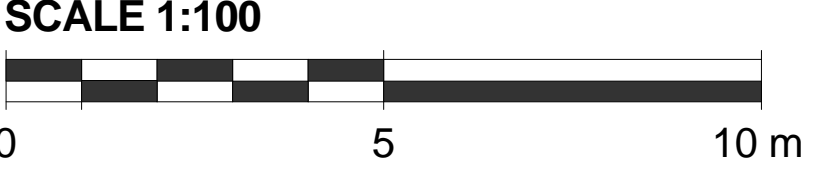
Client :
TRAC DEVELOPMENTS INC.

Project :
**No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES**
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
**BUILDING
SECTION 2**

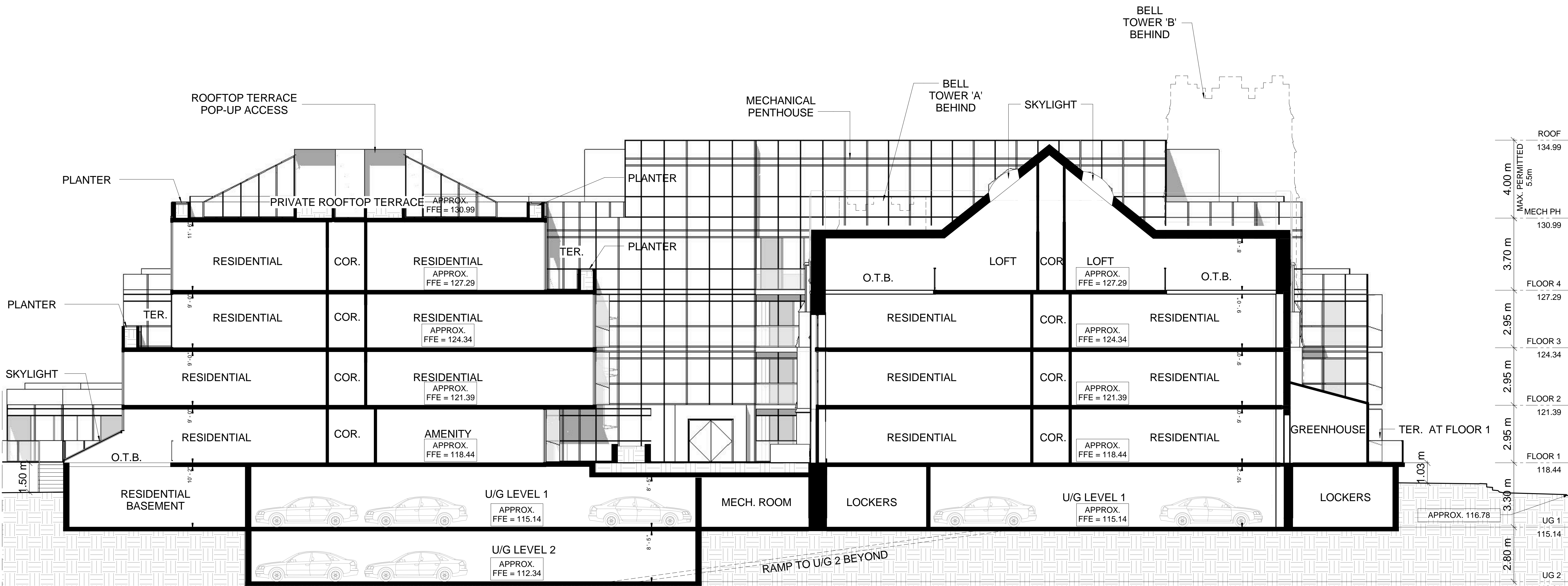
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Drawn by :	AA	Scale :	1 : 100
Checked by :	RM		

Drawing No :
RZ 27



E:\15.281 - 260 High Park_Resma.rvt

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ROOF	134.99
MAX. PERMITTED 5.5m	
MECH PH	130.99
FLOOR 4	127.29
FLOOR 3	124.34
FLOOR 2	121.39
FLOOR 1	118.44
UG 1	115.14
UG 2	112.34

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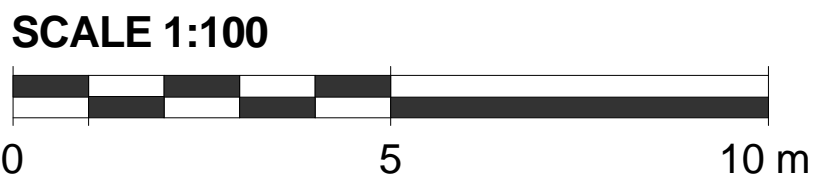
Client :
TRAC DEVELOPMENTS INC.

Project :
**No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES**
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing Name :
**BUILDING
SECTION 3**

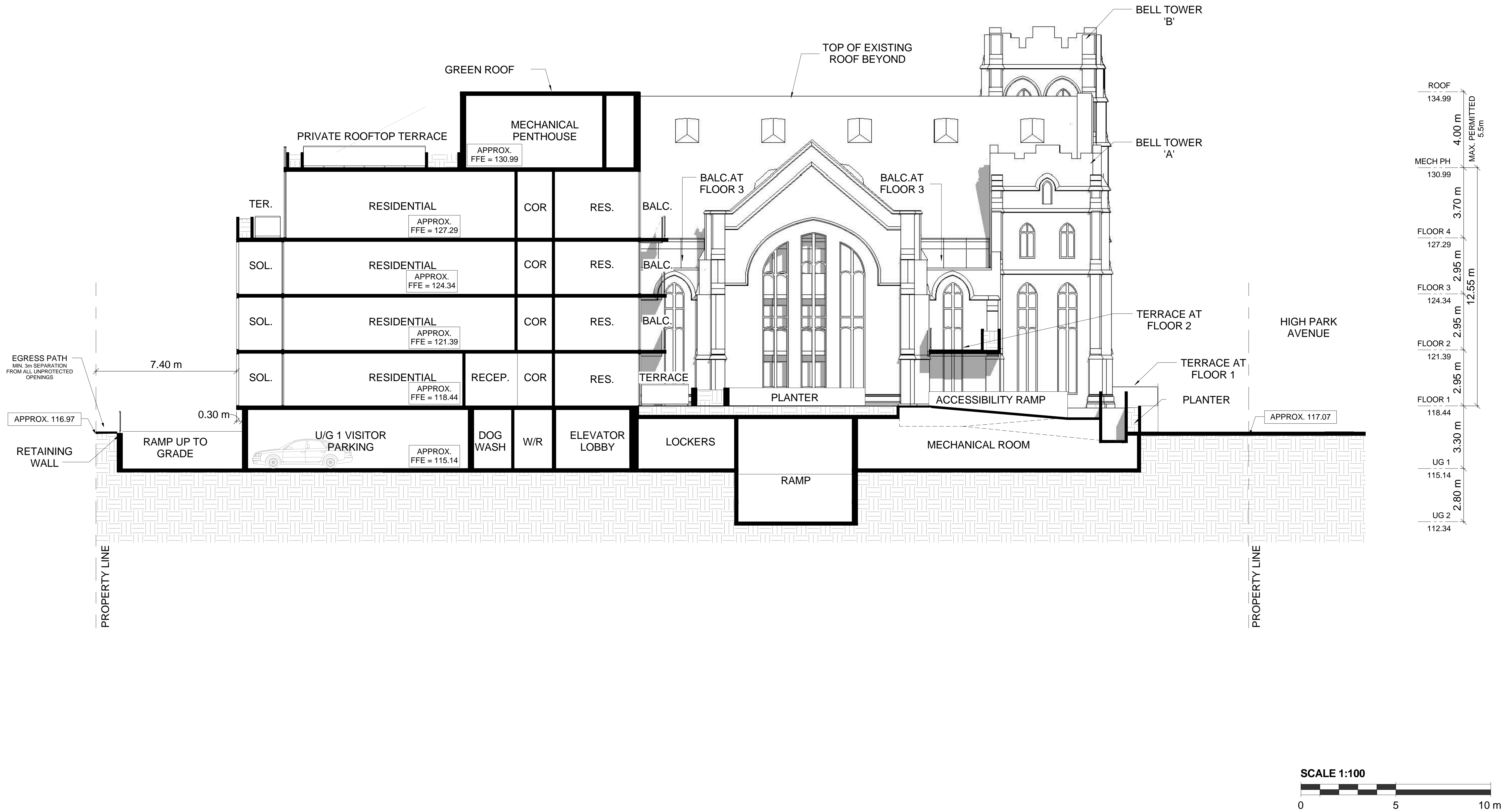
Proj no. :	15.281	Date :	2015-10-16
Drawn by :	AA	Scale :	1 : 100
Checked by :	RM		

Drawing No :
RZ 28



E:\15.281 - 260 High Park_Resma.rvt

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Client :
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Project :
**No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES**
260 HIGH PARK AVENUE
TORONTO, ONTARIO

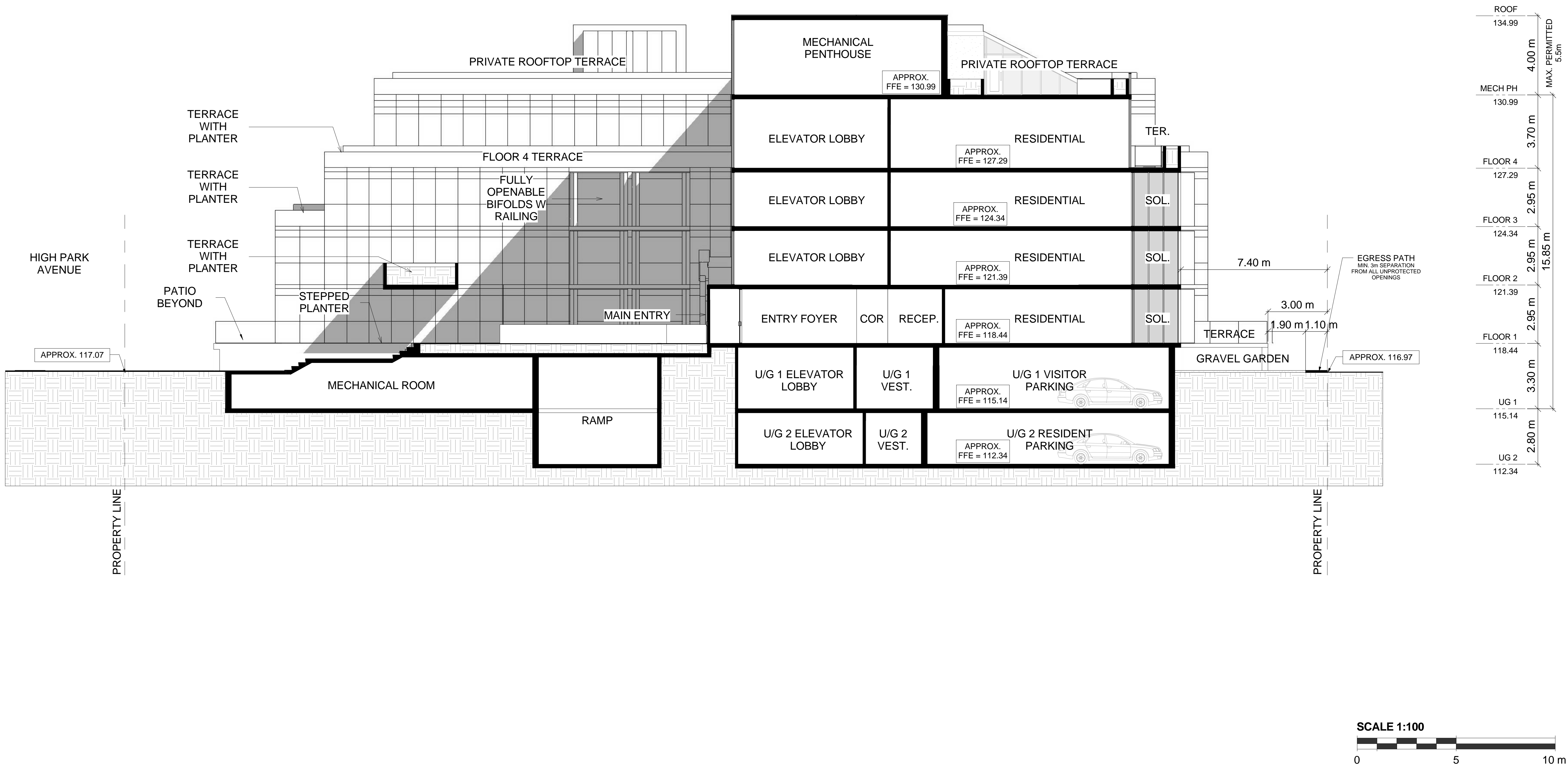
Drawing
**COURTYARD
SECTION 1
LOOKING NORTH**

Proj no. :	15_281	Date :	2015-10-16
Drawn by :	AA	Scale :	1 : 100
Checked by :	RM		

Drawing No :
RZ 29

C:\15_281 - 260 High Park_Churma.rvt

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turnerfleischer.com

Client :
TRAC DEVELOPMENTS INC.

Project :
**No. 260 HIGH PARK
CHURCH LOFTS AND RESIDENCES**
260 HIGH PARK AVENUE
TORONTO, ONTARIO

Drawing
**COURTYARD
SECTION 2
LOOKING SOUTH**

Proj no. :	15_281	Date :	2015-10-16
Drawn by :	AA	Scale :	1 : 100
Checked by :	RM		

Drawing No :
RZ 30

E:\15_281 - 260 High Park_Courtyard.rvt